

*In response to the ongoing COVID-19 pandemic, the City follows the direction of the Provincial Health Officer and the Province of BC to ensure the health and safety of members of Council, staff and the public. **Members of the public who wish to attend meetings of Council are required to wear a mask and physical distancing will be in effect.***

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## **AGENDA - REGULAR MEETING OF COUNCIL**

**Monday, January 31, 2022 @ 2:00 PM**

**In the City Hall Council Chambers – 4850 Argyle Street, Port Alberni, BC**

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*The following pages list all agenda items received by the deadline [12:00 noon on the Wednesday before the scheduled meeting]. A sample resolution is provided for most items in italics for the consideration of Council. For a complete copy of the agenda including all correspondence and reports please refer to the City's website [portalberni.ca](http://portalberni.ca) or contact the Director of Corporate Services at 250.720.2823 or by email [twyla\\_slonski@portalberni.ca](mailto:twyla_slonski@portalberni.ca) or the Deputy City Clerk at 250.720.2822 or by email [sara\\_darling@portalberni.ca](mailto:sara_darling@portalberni.ca)*

*Given the opportunity for the public to once again participate in-person at Council meetings, Council will no longer be receiving submissions electronically for the **public input or question period** of the Council meeting.*

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### **A. CALL TO ORDER & APPROVAL OF THE AGENDA**

1. Recognition of unceded Traditional Territories.
2. Late items identified by Councillors.
3. Late items identified by the Corporate Officer.
4. Notice of Video Recording (live-streaming and recorded/broadcast on YouTube)

*That the agenda be approved as circulated.*

### **B. ADOPTION OF MINUTES - Page 5**

1. Special meeting held at 12:30 pm and Regular Council meeting held at 2:00 pm on January 17, 2022.

### **C. PUBLIC INPUT PERIOD**

*An opportunity for the public to address Council on topics relevant to City Council. A maximum of four [4] speakers for no more than three [3] minutes each will be accommodated.*

### **D. DELEGATIONS**

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**E. UNFINISHED BUSINESS**

*Includes items carried forward from previous Council meetings.*

**1. Association of Vancouver Island and Coastal Communities Resolution Notice & Submission Process**

Following the January 17, 2022 Regular meeting of Council, and subsequent motion to submit resolutions to the 2022 AVICC convention, Council is being asked to consider rescinding Resolution No. R22-8.

*THAT Council rescind Resolution No. R22-8 'Helicopter BC Ambulance Service-Advanced Life Support Paramedic Services' for submission to the 2022 AVICC convention.*

**F. STAFF REPORTS**

*Members of the public may be recognized by Council to speak to a report if the report is a response to their correspondence or an application.*

**1. Accounts**

*THAT the certification of the Director of Finance dated January 31, 2022, be received and the cheques numbered \_\_\_\_\_ to \_\_\_\_\_ inclusive, in payment of accounts totalling \$ \_\_\_\_\_, be approved.*

**2. RCMP Department - Page 11**

Report from the Officer in Charge, Inspector Eric Rochette reporting on the 4<sup>th</sup> Quarter of 2021 [October to December].

This report is being provided for Council's information.

**3. Development Planner – Development Permit No. 21-06 | 3774 12<sup>th</sup> Avenue - Page 15**

Report dated January 24, 2022 from the Development Planner requesting Council's authorization to issue Development Permit No. 21-06 for the proposed construction of a multi-family development at 3774 12<sup>th</sup> Avenue.

*THAT City Council authorize the issuance of Development Permit No. 21-06, and that the Director of Corporate Services be authorized to sign the permit including the plans on Schedule 'B', prepared by ArchiType Design, issued for 3774 12th Avenue and dated April 1, 2021 subject to the City of Port Alberni receiving the required landscaping security in the amount of \$9,510.*

**4. Development Planner – Development Variance Permit No. 109 and Development Permit No. 21-12 | 5535 Woodland Crescent - Page 33**

Report dated January 21, 2022 from the Development Planner requesting Council's authorization to issue Development Variance Permit No. 109 to reduce the required frontage and rear yard setback requirements and Development Permit No. 21-12 to facilitate the construction of 11 two-storey, three-bedroom units at 5535 Woodland Crescent.

- i. *THAT Council authorize the issuance of Development Variance Permit No. 109 and that the Director of Corporate Services be authorized to sign the permit granting the following variances to the Zoning Bylaw at 5535 Woodland Crescent:*
  - a. *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required frontage from 30 metres to 27.192 metres, a variance of 2.8 metres.*
  - b. *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required rear yard setback from 9 metres to 7.5 metres, a variance of 1.5 metres.*
- ii. *THAT Council authorize the issuance of Development Permit No. 21-12 and that the Director of Corporate Services be authorized to sign the permit including the development plans as shown on Schedule 'B', prepared by Dycon Construction Ltd., subject to the City of Port Alberni receiving the required landscaping security in the amount of \$21,588.*

5. **Development Planner – Development Permit No. 21-10 - Page 65**

Report dated January 24, 2022 from the Development Planner requesting Council's authorization to issue Development Permit No. 21-10 for the proposed construction of Phase 2 of the Port View Landing multifamily residential development at 3553 Anderson Avenue.

*THAT Council authorize the issuance of Development Permit No. 21-10, and that the Director of Corporate Services be authorized to sign the permit including the development plans as shown on Schedule 'B', prepared by Seymour Pacific Developments Ltd. issued for '3553 Anderson Ave' and dated July 2, 2021 subject to the City of Port Alberni receiving the required landscaping security in the amount of \$184,582.87.*

**G. BYLAWS**

*Bylaws are required for the adoption of regulations, financial plans, changes to land use policy and to approve borrowing. A bylaw requires four separate resolutions to be adopted and must be considered over a minimum of two [2] Council meetings. Each reading enables Council to reflect on the bylaw before proceeding further.*

1. **Director of Finance – "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" - Page 95**

Report dated January 24, 2022 from the Director of Finance requesting Council consider first reading of the City's Financial Plan bylaw.

*THAT the "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" be now introduced and read a first time.*

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**H. CORRESPONDENCE FOR ACTION**

*Correspondence addressed to the Mayor and Council by an identifiable citizen included on an agenda is correspondence asking for a specific request of Council and the letter writers will be provided a response. Correspondence regarding personnel matters, legal action and/or items of a confidential nature will not be included.*

**I. PROCLAMATIONS**

**J. CORRESPONDENCE FOR INFORMATION**

*Correspondence found here provides information to Council. It may also include correspondence that may not be relevant to City services and responsibilities. Correspondence regarding personnel matters, legal action and/or items of a confidential nature will not be included.*

1. **Correspondence Summary** - Page 131
  - a. Ministry of Mental Health and Addictions | UBCM Meeting Follow-up
  - b. BC Epilepsy Society | International Purple Day
  - c. Diane Proctor | Council Remuneration
  - d. Vancouver Island Crisis Society | Update on RFP Process
  - e. Audit Committee Meeting | Minutes from October 6, 2021
  - f. Port Alberni Community Action Team | Public Washroom Facilities
  - g. Nuuchahnulth Tribal Council | Public Washroom Facilities

**K. REPORT FROM IN-CAMERA**

**L. COUNCIL REPORTS**

1. **Council and Regional District Reports** - Page 150

**M. NEW BUSINESS**

*An opportunity for Council to raise issues as a result of the business of the meeting or to identify new items for subsequent meetings by way of a 'Notice of Motion'.*

**N. QUESTION PERIOD**

*An opportunity for the public to ask questions of Council.*

**O. ADJOURNMENT**

*That the meeting adjourn at        PM*



**MINUTES OF THE SPECIAL MEETING OF COUNCIL  
FOR THE PURPOSE OF ESTABLISHING AN IN-CAMERA MEETING  
MONDAY, JANUARY 17, 2022 @ 12:30 PM  
In City Hall Council Chambers | 4850 Argyle Street, Port Alberni**

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**PRESENT:** Mayor Minions  
Councillor R. Corbeil  
Councillor D. Haggard  
Councillor R. Paulson  
Councillor H. Poon  
Councillor C. Solda  
Councillor D. Washington

**Staff:** S. Smith, Acting CAO | Director of Development Services  
T. Slonski, Director of Corporate Services

Call to Order: @ 12:30 pm

*MOVED and SECONDED, THAT Council conduct a Special Council meeting closed to the public on the basis that one or more matters covered under Section 90 of the Community Charter will be considered, specifically outlined as follows:*

**Section 90 (1)(a)** *personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;*

**Section 90 (1)(e)** *the acquisition, disposition or expropriation of land or improvements and where the council considers that disclosure could reasonably be expected to harm the interests of the municipality; and*

**Section 90 (1)(g)** *litigation or potential litigation affecting the municipality*

**CARRIED**

The meeting was terminated at 1:52 pm

CERTIFIED CORRECT

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Mayor

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Corporate Officer

**MINUTES OF THE REGULAR MEETING OF COUNCIL**  
**Monday, January 17, 2022 @ 2:00 PM**  
**In the City Hall Council Chambers – 4850 Argyle Street, Port Alberni, BC**

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**PRESENT:** Mayor S. Minions  
Councillor R. Corbeil  
Councillor D. Haggard  
Councillor R. Paulson  
Councillor H. Poon  
Councillor C. Solda  
Councillor D. Washington

**A. CALL TO ORDER & APPROVAL OF THE AGENDA**

The meeting was called to order at 2:00 PM.

*MOVED AND SECONDED, THAT the agenda be amended to include item M.1 under New Business / Property Assessments. The agenda was then approved as amended.*

**CARRIED**

**B. ADOPTION OF MINUTES**

*MOVED AND SECONDED, THAT Special meeting held at 10:00 am and Regular Council meeting held at 2:00 pm on December 13, 2021 be adopted.*

**CARRIED**

**C. PUBLIC INPUT PERIOD**

**Neil Anderson**

Expressed concern over City and Council management of infractions related to renovations at the Kingsway Hotel.

**Tim Towle**

Commented on the Connect the Quays Pathway project and the City's plans to move forward with construction on portions of the pathway prior to grant funding being secured.

**D. DELEGATIONS**

**1. Western Vancouver Island Industrial Heritage Society**

David Hooper informed Council that the Western Vancouver Island Industrial Heritage Society, in co-operation with the AV Museum, will be hosting a "Hayes 100" Truck Show July 30-31 and August 1, 2022 to mark the 100<sup>th</sup> anniversary of the 'Made-in-BC Hayes' truck.

**E. UNFINISHED BUSINESS**

**1. 2021 Resolution Tracking Summary**

The Director of Corporate Services provided Council with a summary of 2021 Council resolutions, noting of 294 directives, 19 remain outstanding.

**F. STAFF REPORTS**

**1. Accounts**

*MOVED AND SECONDED, THAT the certification of the Director of Finance dated January 17, 2022, be received and the cheques numbered 149688 to 149862 inclusive, in payment of accounts totalling \$ 3,695,290.46, be approved.*

**CARRIED**

**2. COFI | BC Council of Forest Industries Annual Convention | Authorize Council Registration**

*MOVED AND SECONDED, THAT Council authorize Mayor Minions and Councillors Corbeil and Haggard to attend the BC Council of Forest Industries [COFI] Annual Convention taking place on April 27-29, 2022 in Vancouver, BC with authorization to include reimbursement of expenses incurred as per City Policy No. P6 – Travel Expense Policy.*

**CARRIED | Res. No. 22-1**

**3. Cannabis Regulation**

*MOVED AND SECONDED, THAT Council direct staff to bring forward a report for Council's consideration of potential amendments to the City of Port Alberni Nuisance Abatement Bylaw that may enable the City to regulate cannabis related odour complaints.*

**CARRIED | Res. No. 22-2**

**G. BYLAWS**

**1. Development Application | Proposed Zoning Bylaw Amendment – 5405 Argyle Street**

*MOVED AND SECONDED, THAT "Zoning Text Amendment No. T29 (Site Specific Use - W1 Waterfront Commercial), Bylaw No. 5039" be now introduced and read a first time.*

**CARRIED | Res. No. 22-3**

*MOVED AND SECONDED, THAT "Zoning Text Amendment No. T29 (Site Specific Use - W1 Waterfront Commercial), Bylaw No. 5039" be read a second time.*

**CARRIED | Res. No. 22-4**

*MOVED AND SECONDED, THAT "Zoning Text Amendment No. T29 (Site Specific Use - W1 Waterfront Commercial), Bylaw No. 5039" be advanced to a Public Hearing on Tuesday, February 15, 2022 at 6:00 pm.*

**CARRIED | Res. No. 22-5**

**H. CORRESPONDENCE FOR ACTION**

**1. 2022 AGM and Convention | Association of Vancouver Island and Coastal Communities Resolution Notice & Submission Process**

*MOVED AND SECONDED, THAT Council direct staff to submit the following resolutions to the 2022 AVICC AGM and Convention:*

**a. *Health Canada | Increased Cannabis Regulation Resources***

*Whereas medical cannabis and commercial cannabis production are regulated by the federal government under the federal Cannabis Act and regulations;*

*And whereas Health Canada is responsible for managing risks posed to public health and safety in connection with cannabis through a variety of compliance and enforcement activities;*

*And whereas cannabis production operations may cause disturbing odours that impact the surrounding community;*

*Therefore, be it resolved that AVICC request that Health Canada be required to increase the resources adequate to manage compliance and enforcement of regulatory cannabis requirements, including regulations related to preventing the escape of cannabis odours associated with cannabis plant material to the outdoors.*

**CARRIED | Res. No. 22-6**

**b. *Minimal Barrier Shelter Standards***

*Whereas the Ministry of Social Development and Poverty Reduction funds housing for low income clients;*

*And whereas the clients often arrange for monthly payments of rent directly to the landlord;*

*And whereas these forms of housing often do not meet minimum standards;*

*Therefore, be it resolved that the AVICC urge the Provincial Government to ensure they are funding clients to live in safe and clean affordable housing.*

**CARRIED | Res. No. 22-7**

**c. *Helicopter BC Ambulance Service-Advanced Life Support paramedic services***

*Whereas a number of communities and workplaces in British Columbia are a considerable distance to the appropriate medical care;*

*And whereas a number of coroners' inquests have recommended a timelier response to incidents;*

*Therefore, be it resolved that AVICC lobby the Province of BC to explore making BC Ambulance Service Advanced Life Support paramedic services available by local helicopter to all residents in British Columbia, including, people living and working in remote locations.*

**CARRIED | Res. No. 22-8**

Mayor Minions vacated the Chair at 2:55 pm, declaring a conflict of interest related to her spouse's employer.

Acting Mayor Solda assumed the Chair at 2:56 pm.

**2. Alberni Valley Community Forest**

*MOVED AND SECONDED, THAT Council as per Alberni Valley Community Forest Reserve Fund, Bylaw No. 4854 support the recommendation from the Alberni Valley Community Forest to provide a donation to the Salvation Army in the amount of \$10,000 for a community project at the corner of 10th Avenue and Redford Street.*

**CARRIED | Res. No. 22-9**

Mayor Minions returned to the meeting and assumed the Chair at 2:58 pm.

**I. PROCLAMATIONS**

**1. Twinning Society - Abashiri Week**

*MOVED AND SECONDED, THAT Council proclaim the week of February 7 – 13, 2022 as 'Abashiri Week' in Port Alberni in recognition of February 9, 1986, the signing of the Sister City Agreement.*

**CARRIED | Res. No. 22-10**

**2. Alberni Valley Chapter Canadian Council of the Blind**

*MOVED AND SECONDED, THAT Council proclaim the week of February 6 – 12, 2022 as 'White Cane Week' in Port Alberni on behalf of the Alberni Valley Chapter Canadian Council of the Blind.*

**CARRIED | Res. No. 22-11**

**J. CORRESPONDENCE FOR INFORMATION**

**1. The Director of Corporate Services summarized correspondence to Council as follows:**

- a. Roland Smith | Council Meeting Procedure Re: Kingsway Hotel
- b. City of Abashiri | Sister City Exhibition 2021
- c. Marlie van Roy | Burde Street Beaver Ponds
- d. Alberni Climate Action | OCP Public Consultation Process
- e. BC SPCA | Reassessing the use of all rodenticides
- f. Shary and Ross Stevens | Connect the Quays/Somass Lands
- g. District of North Saanich | Elected Officials – Parental Leave
- h. Lookout Society | Annual Report and Strategic Plan
- i. Girl Guides of Canada | World Thinking Day
- j. Ministry of Transportation | Municipal Speed Limits
- k. BC Hydro | ReGreening Program Update
- l. Dave Jarrett | Burde Street Beaver Ponds
- m. Alberni Valley Museum & Heritage Commission | Minutes dated December 1, 2021

**K. REPORT FROM IN-CAMERA**

**L. COUNCIL REPORTS**

**1. *MOVED AND SECONDED, THAT the Council reports outlining recent meetings and events related to the City's business, be received.***

**CARRIED**

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**M. NEW BUSINESS**

**1. Property Assessments**

Council provided comment on the 2021 BC Property Assessments as follows:

- 47 % average increase City-wide
- Non-Market Change
- Home Owner Grant thresholds

**N. QUESTION PERIOD**

**Neil Anderson**

Clarified he was not looking to have the letter of correspondence from R. Smith read aloud at this meeting.

- Q1. Inquired as to the possibility of petitioning senior governments to increase the benefits provided to seniors to meet increasing living costs?
- Q2. Requested information regarding who provided subcontract services [i.e. plumbing, electrical] for the Kingsway Hotel renovations?
- Q3. Inquired as to whether the inspection completed by McGill Engineering and City staff related to the Kingsway Hotel renovations was the first inspection completed or were there additional inspections completed previous to that?

**Diane Proctor**

Questioned Council regarding the Connect the Quays Pathway project and the process Council utilizes in establishing Council remuneration.

**O. ADJOURNMENT**

*MOVED AND SECONDED, THAT the meeting adjourn at 3:39 PM.*

**CARRIED**

CERTIFIED CORRECT

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Mayor

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Corporate Officer





## PORT ALBERNI RCMP DETACHMENT QUARTERLY REPORT

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input type="checkbox"/> Corporate Services	<input checked="" type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	Other _____
File # _____	

*Rcm Jan 31/22*  
*7400-01*



This report represents the policing activities undertaken by the Port Alberni RCMP Detachment during the fourth quarter of 2021 (October to December). Included in this report is a comparator to the same time frame during the previous four years.

The following represents some of the calls for services received, investigations undertaken and activities of the RCMP during the quarter.

- Officers received and responded to a total of 2,703 calls for service, 2,333 of these calls occurred in the City of Port Alberni.
- The number of Criminal Offences are down by 6% for the quarter compared to 2020.
- The number of Property Crime Offences are up by 33% for the quarter compared to 2020.
- The number of Violent Offences are down by 20% for the quarter compared to 2020.

### Port Alberni RCMP's 2021/22 Annual Performance Plan Priorities:

- **Traffic- Road Safety:** Increased enforcement, both tickets and warnings. Reduction of Impaired drivers on the roads through criminal code charges and Immediate Roadside Prohibitions. Joint operations with Island District Traffic Units and Speedwatch.
- **Family Violence:** Focus on education, awareness and community support to foster a "wrap around" approach of harm reduction. Creating a supportive environment for victims of family violence to come forward.
- **Crime Reduction (Property Crimes and Drugs):** Identifying and managing prolific offenders through enhanced enforcement and partnerships with community agencies. The focus will be on drug and property crime offenders.
- **Aboriginal Policing:** This includes traffic safety and enforcement on the First Nations, greater visibility at community events and meetings and a focus on First Nation Youth through prevention programs and involvement in schools and at youth events.
- **Youth:** Positive interactions with youth through school and sporting events. Increased,

proactive engagement with the youth in our community.

Respectfully submitted,

Inspector Eric Rochette  
Officer in Charge  
Port Alberni RCMP



## Mayor and Council Report

Port Alberni Municipal

Q4 2021 (October to December)

<i>Calls for Service</i>	Q4 2017	Q4 2018	Q4 2019	Q4 2020	Q4 2021
Total Calls for Service	2400	2594	2829	2659	2333

<i>Occurrences by Crime Type</i>	Q4 2017	Q4 2018	Q4 2019	Q4 2020	Q4 2021
Violent Crime	81	98	119	142	114
Property Crime	311	336	475	322	428
Other Criminal Code	124	152	231	215	182
Drug Offences	28	13	12	12	11
Total Criminal Code	544	599	837	691	735
Criminal Traffic	41	47	27	18	28

<i>Violent Crime</i>	Q4 2017	Q4 2018	Q4 2019	Q4 2020	Q4 2021
Assaults	35	51	62	59	65
Assault weapon/bod harm	14	10	11	13	10
Harassment	4	9	11	20	14
Robbery	5	4	1	4	0
Sex Offences	7	9	8	6	7
Uttering Threats	11	11	23	32	36



Domestic Violence	24	30	42	47	45
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<i>Property Crime</i>	Q4 2017	Q4 2018	Q4 2019	Q4 2020	Q4 2021
Auto Theft	6	4	2	3	5
Bike Theft	11	11	9	6	12
Break and Enter - Business	20	20	14	4	11
Break and Enter - Residence	18	13	22	5	13
Break and Enter - Other	17	18	17	1	9
Mischief to Property	58	56	97	84	142
Theft	57	61	96	71	76
Possess Stolen Property	2	14	1	2	5
Shoplifting	31	37	54	10	34
Theft From Vehicle	25	29	79	28	52
Fraud	16	11	11	14	13

<i>Other Criminal Code</i>	Q4 2017	Q4 2018	Q4 2019	Q4 2020	Q4 2021
Cause Disturbance	58	77	105	111	99
Breach of Probation	12	22	28	18	36
Breach of Bail	37	20	51	58	53

<i>Provincial Statutes</i>	Q4 2017	Q4 2018	Q4 2019	Q4 2020	Q4 2021
Intoxicated in Public	57	38	36	46	35





## Statistics for 2021

<i>Calls for Service</i>	2017	2018	2019	2020	2021
Total Calls for Service	9211	10393	11669	11088	10433

<i>Occurrences by Crime Type</i>	2017	2018	2019	2020	2021
Violent Crime	331	348	523	536	524
Property Crime	1126	1409	1858	1607	1558
Other Criminal Code	577	663	770	827	756
Drug Offences	114	96	73	61	58
Total Criminal Code	2148	2516	3224	3034	2896
Criminal Traffic	155	216	128	119	91

Date: January 24, 2022  
File No: 3060-20-DP21-06  
To: Mayor & Council  
From: Scott Smith, Acting CAO | Director of Development Services  
Subject: **DEVELOPMENT APPLICATION – Development Permit No. 21-06**  
**3774 12<sup>th</sup> Ave**  
LOT 1 DISTRICT LOT 1 ALBERNI DISTRICT PLAN EPP10360, EXCEPT PART IN STRATA PLAN  
WPS356 (PHASE 1)  
**Applicant:** Raj Hayre dba. AV & BD Electric

Prepared by:  B. McLoughlin Development Planner	Supervisor: <b>S. Smith</b> S. Smith, Acting CAO   Dir. of Development Services	A   CAO Concurrence:  S. Smith, Acting CAO
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#### RECOMMENDATION

*That City Council authorize the issuance of Development Permit No. 21-06, and that the Director of Corporate Services be authorized to sign the permit including the plans on Schedule 'B', prepared by ArchiType Design, issued for 3774 12<sup>th</sup> Avenue and dated April 1, 2021 subject to the City of Port Alberni receiving the required landscaping security in the amount of \$9,510.*

#### PURPOSE

To consider Development Permit No. 21-06 to enable a multi-family development at 3774 12<sup>th</sup> Avenue. The applicant is proposing to construct two tri-plex buildings for a total of six dwelling units. This project is phase II of a multi-family development that was first initiated in 2008.

#### BACKGROUND

The subject property is owned by AV & BD Electric, and is zoned RM2 – Medium Density Multiple Family Residential. It is also within the Multi-Family Residential Development Permit Area in the Official Community Plan (OCP). The property is located on the edge of the 10<sup>th</sup> Ave. and Redford St. neighbourhood commercial area, on a site historically occupied by School District 70.

In March of 2008, Council approved Development Permit 08-01 which led to construction of the first phase of the project adjacent to the existing McDonald's restaurant. Phase 1 consisted of one tri-plex building, and one four-plex building, for a total of 7 units. Phase two was never constructed. In August 2018, the applicant was granted a Development Permit for phase two, but construction was not initiated and the permit expired in August 2020. AV & BD Electric has applied for another Development Permit which, if approved, would allow them to apply for a Building Permit and initiate construction within the next two years. The current proposal for two tri-plex buildings matches the original application initiated in 2008.

## ALTERNATIVES/OPTIONS

- Option 1 – *Proceed with issuing Development Permit No. 21-06.*
- Option 2 – *Do not proceed with issuing the Development Permit.*
- Option 3 – *Provide alternative direction.*

## ANALYSIS

Staff have reviewed the proposal in terms of how it meets the *Multi-Family Development Permit Area Guidelines* of the OCP, and the requirements of the Zoning Bylaw. Key points are provided below.

<b>Site</b>	<ul style="list-style-type: none"> <li>• Total area of the lot is 4,834 m<sup>2</sup> (1.2 acres).</li> <li>• All site development regulations are met.</li> <li>• Lot coverage is 50% - the maximum for RM2 zone.</li> <li>• All required parking will be provided on-site.</li> <li>• All required useable open space will be provided on-site.</li> </ul>
<b>Buildings</b>	<ul style="list-style-type: none"> <li>• 2 Tri-plex buildings with a total of 6 dwelling units.</li> <li>• Floor Area Ratio, or density target, of 0.40. The maximum is 0.80.</li> <li>• Buildings will use high-quality materials typical of residential development.</li> </ul>
<b>Landscape</b>	<ul style="list-style-type: none"> <li>• A mix of trees, shrubs, and plants will enhance the site and provide screening within the property.</li> <li>• A row of cedar trees and landscaping will screen the property from the alleyway behind Shoppers Drug Mart.</li> </ul>
<b>Access</b>	<ul style="list-style-type: none"> <li>• All vehicles will enter and exit the site from the existing driveway that is accessed from either 12<sup>th</sup> Avenue, or the commercial parking lot.</li> <li>• Aisle widths meet the requirements of the Zoning Bylaw.</li> <li>• Applicant may be required to install a fire hydrant at the Building Permit stage due to the distance from existing hydrants.</li> </ul>

## IMPLICATIONS

Issuing Development Permit No. 21-06 will enable the second phase of an existing multi-family development at 3774 12<sup>th</sup> Avenue. The applicant has submitted a design with meets the City's requirements, and complements the existing buildings constructed during phase 1. A landscape security in the amount of \$9,510 will be required from the applicant prior to issuing the Development Permit.

## COMMUNICATIONS

N/A

## BYLAWS/PLANS/POLICIES

### 1. Official Community Plan Policy – Development Permit Areas (Section E – Implementation – 1.0)

This application has been reviewed according to the Multi-Family Design Guidelines listed in *Section E – Implementation, 1.0 Development Permit Areas* of the City of Port Alberni's OCP.

The OCP states that the intent of this permit area is to ensure development fits appropriately with surrounding neighbourhoods, and maximizes liveability for residents. This is implemented by the City through Design Guidelines in the OCP that provide direction on siting, massing, and form, that apply to buildings as well as landscaping, parking, and common areas. Staff have reviewed the proposed development, and are satisfied it meets the intent of the *Multi-family Development Permit Area Guidelines* in the OCP.

**2. Zoning Bylaw 2014 4832:**

The building and site meet the requirements of the *RM2 – Medium Density Multiple Family Residential Zone*, including the *Site Development Regulations* pertaining to building height, density and lot coverage. Additionally, all required parking will be provided on-site.

**SUMMARY**

The Planning Department has received an application for a Development Permit at 3774 12<sup>th</sup> Avenue. Issuing the permit will allow the applicant to proceed with phase 2 of a multi-family development that was initiated in 2008. Staff have reviewed the design, and are satisfied it meets the intent of the Development Permit Area guidelines in the Official Community Plan. The proposal also meets the requirements of the Zoning Bylaw.

The Planning Department supports the issuance of Development Permit No. 21-06 for 3774 12<sup>th</sup> Ave with the conditions outlined in the attached Development Permit.

**ATTACHMENTS/REFERENCE MATERIALS**

**1. Development Permit 21-06**

- Schedule A – Subject Property Map
- Schedule B – Drawings
  - a) *ArchType Design – A1 – Site Plan*
  - b) *ArchType Design – A1.1 – Landscape Plan*
  - c) *ArchType Design – A2.2 – Main floor Plan Building 3*
  - d) *ArchType Design – A2.3 – Main floor Plan Building 4*
  - e) *ArchType Design – A2.4 – Roof Plan – Building 3*
  - f) *ArchType Design – A2.5 – Roof Plan – Building 4*
  - g) *ArchType Design – A3.1 – Elevations – Building 3*
  - h) *ArchType Design – A3.2 – Elevations – Building 4*
  - i) *Rain Bird Design Service – Sheet 1 – Irrigation plan*
  - j) *Rain Bird Design Service – Sheet 2 – Irrigation plan*
  - k) *Rain Bird Design Service – Sheet 3 – Irrigation plan*
  - l) *Rain Bird Design Service – Sheet 4 – Irrigation plan*

c: T. Slonski, Director of Corporate Services  
A. McGifford, Director of Finance  
R. Gaudreault, Building/Plumbing Inspector



**CITY OF PORT ALBERNI**  
**DEVELOPMENT PERMIT NO. 21 - 06**

---

**Development Permit Issued to:**            **Balraj Hayre dba AV & BD Electric Ltd.**  
843 Calverhall Street,  
North Vancouver, BC V7L 1X8

The land affected by this permit is shown on Schedule A attached hereto and forming part of this Permit and is legally described as the whole or/a portion of:

Lot 1, District Lot 1, Alberni District, Plan EPP10360 Except Plan EPS356  
(PHASE 1) (PID: 028-406-893)  
located at  
**3774 12<sup>th</sup> Avenue**

**CONDITIONS OF PERMIT**

1. Development of the land to be undertaken shall be limited to the area shown on Schedule A.
2. Development of the land to be undertaken shall be in accordance with the development plan shown on Schedule B attached hereto and forming part of Development Permit No. 21-06.
3. An Irrevocable Letter of Credit or other security is required in the amount of \$9,510.00 for landscaping.
4. The owner of the land shall provide the general contractor and all professionals associated with the development with copies of this permit.
5. The owner of the land shall maintain any undeveloped land in a neat and tidy condition at all times.
6. If there has not been any substantial commencement of construction with respect to which the permit was issued within two years after the date it was issued, the permit lapses.

The City of Port Alberni shall file notice of this permit in the Land Title Office stating the land is subject to Development Permit No. 21-06.

In accordance with the provisions of Section 489 of the *Local Government Act RSBC 2015*, approval of this Permit was granted by resolution of the City Council on \_\_\_\_\_, 2022.

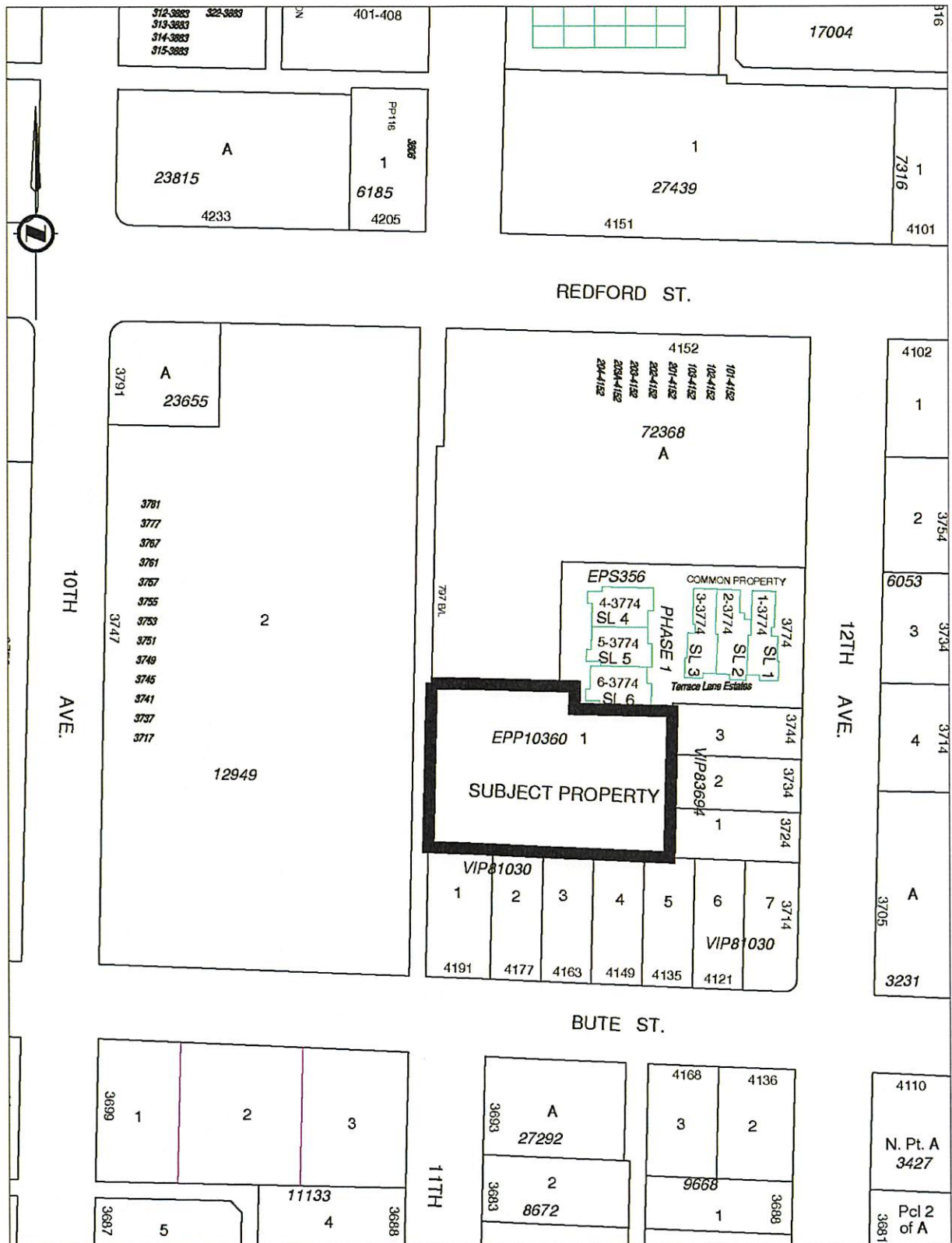
---

Date

---

Corporate Officer

**THIS IS NOT A BUILDING PERMIT**  
**SCHEDULE A TO DEVELOPMENT PERMIT 21-06**



J:\Engineering\Planning\Development Applications\Development\Permits\DP-2021\DP21-06\_3774+12thAve+Hayre PHASE 2\Maps\DP21-06\_3774+12thAve+Hayre PHASE 2-Map.dwg, 4/21/2021 2:15:31 PM

## **SCHEDULE B TO DEVELOPMENT PERMIT 21-06**

**[PAGE LEFT BLANK]**





ADDRESS:

3774 12TH AVE.,  
PORT ALBERNI, B.C.

BUILDING 3

No.	Date	Revision
1	05/07/20	ISSUED FOR PERMIT REVIEW
2	05/11/20	ISSUED FOR SP
3	05/25/21	RE-DESIGNED LINE SP
4	04/01/21	RE-DESIGNED LINE SP

ALL DESIGN, DESIGN AND STAFF INDICATED ON THIS DRAWING ARE THE PROPERTY OF THE ENGINEER. NO PART SHALL BE USED IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

BUILDING 3

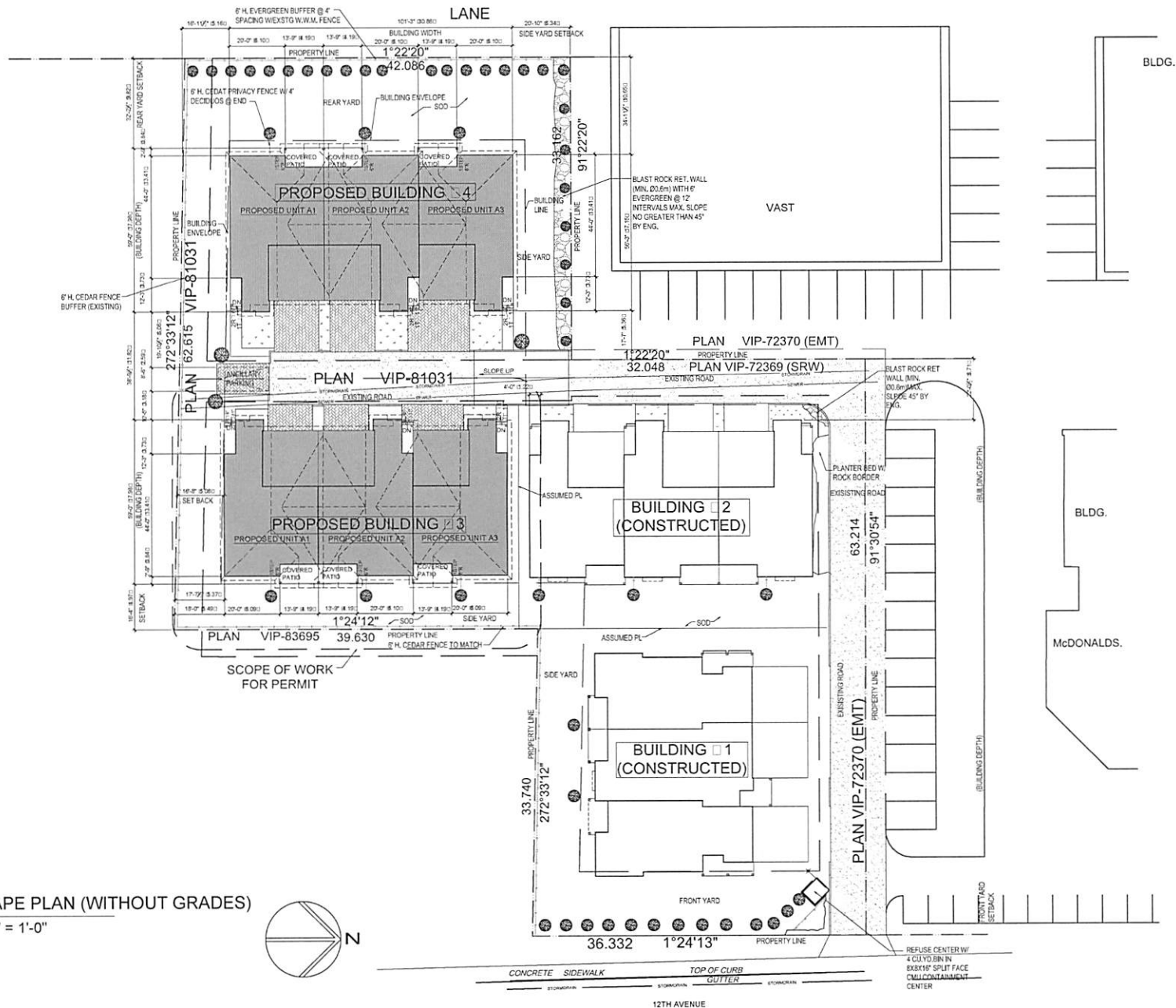
Title  
LANDSCAPE PLAN  
(WITHOUT GRADES)

Date  
APRIL 1ST, 2021

Scale  
AS SHOWN

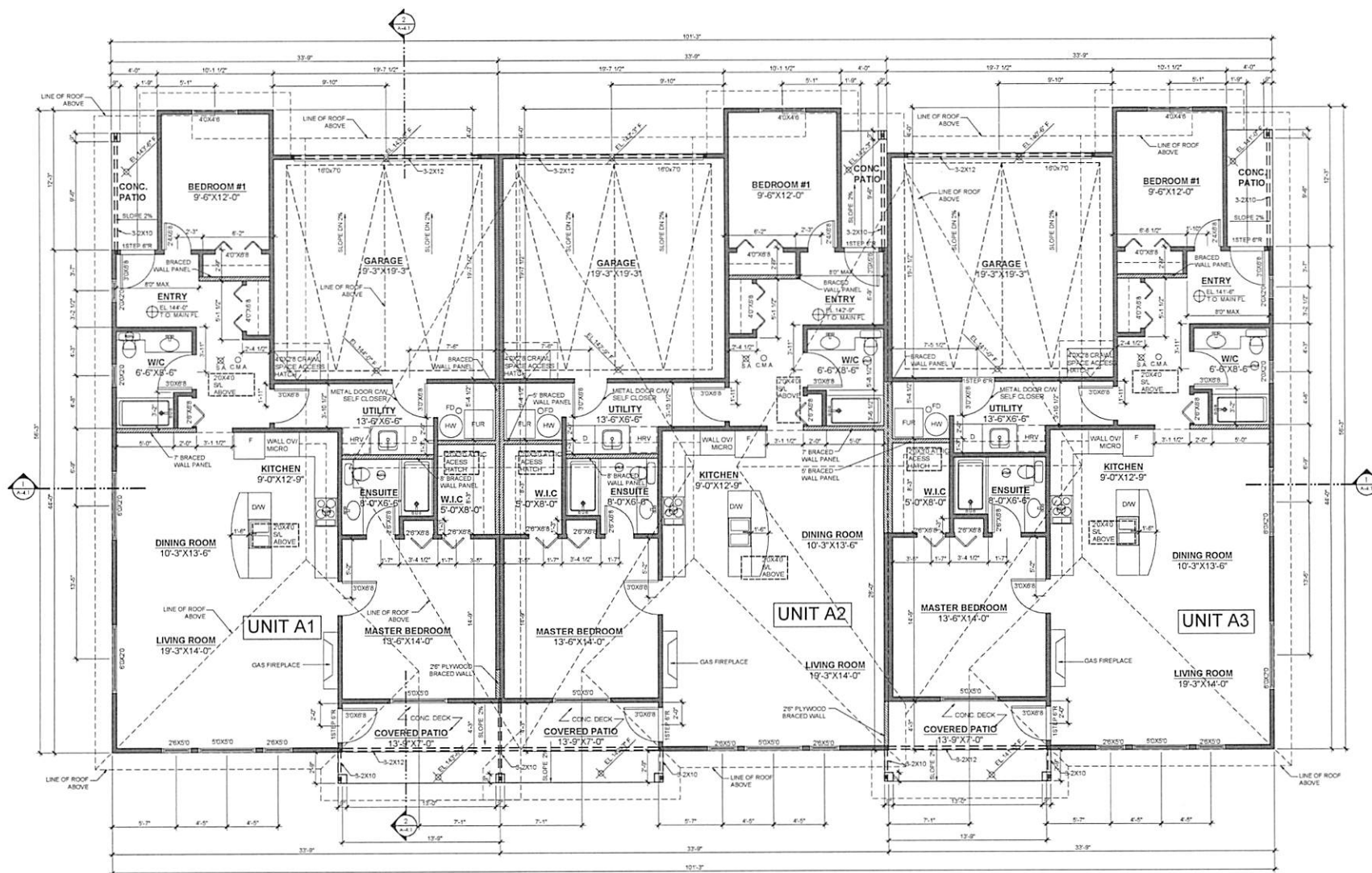
Drawing No.

A1.1



1 LANDSCAPE PLAN (WITHOUT GRADES)  
Scale: 1/16" = 1'-0"





1 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0"  
UNIT A1: 1313 SF + 400 SF GARAGE  
UNIT A2: 1313 SF + 400 SF GARAGE  
UNIT A3: 1313 SF + 400 SF GARAGE  
TOTAL 3939 SF + 1200 SF GARAGE  
= 5139 SF



PLANS NOTES  
1. INTERIOR DIMENSIONS TO FACE OF G.W.B. U.N.D.  
2. EXTERIOR DIMENSIONS TO FACE OF SHEATHING OR CONCRETE U.N.D.  
3. GRADE TO SLOPE AWAY FROM HOUSE BY A MIN. OF 2%  
4. DOORS AND WINDOWS TO BE CENTERED BETWEEN ADJACENT WALLS U.N.D.  
O C 1/4" CARBON MONOXIDE ALARM  
X A SMOKE DETECTOR (SMOKE DETECTORS TO BE INTERCONNECTED)  
FD FLOOR DRAIN  
CB CATCH BASIN  
D EXHAUST FAN VENT TO OUTSIDE

Title

MAIN FLOOR PLAN  
BUILDING -3

Date  
MARCH 19TH, 2021

Scale

A5 SHOWN

Drawing No.

A2.2

No.	Date	Revised
1	05/07/08	ISSUED FOR PD REVIEW
2	07/11/09	ISSUED FOR BP
3	03/29/13	RE-SUBMITTED FOR BP
4	10/03/21	RE-SUBMITTED FOR BP

ALL WORK, MATERIALS AND METHODS INDICATED BY THIS PLAN ARE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF THE CITY OF PORT ALBERNI. NO PART SHALL BE CONSIDERED AS A BASIS FOR ANY OTHER CONSTRUCTION OF THE BUILDING.

Title

MAIN FLOOR PLAN  
BUILDING-4

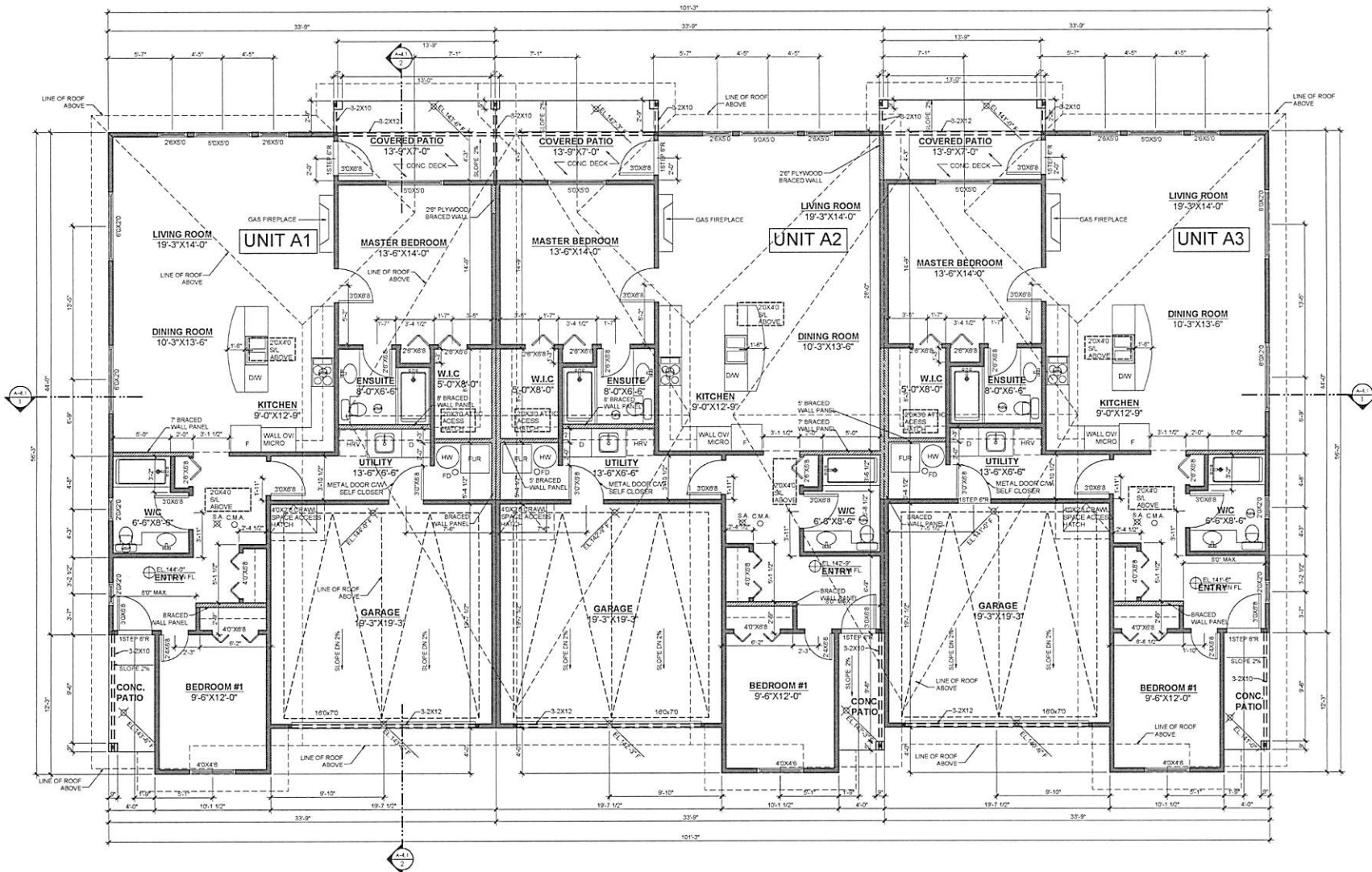
Date  
MARCH 19TH, 2021

Scale

AS SHOWN

Drawing No.

A2.3



# 1 MAIN FLOOR PLAN

Scale: 1/4" = 1'-0"

Unit A1: 1313 SF + 400 SF GARAGE  
Unit A2: 1313 SF + 400 SF GARAGE  
Unit A3: 1313 SF + 400 SF GARAGE  
TOTAL 3939 SF + 1200 SF GARAGE  
= 5139 SF



- PLANS NOTES:
1. INTERIOR DIMENSIONS TO FACE OF G.W.B. U.D.
  2. EXTERIOR DIMENSIONS TO FACE OF SHEATHING OR CONCRETE U.D.
  3. GRADE TO SLOPE AWAY FROM HOUSE BY A MIN. OF 2%.
  4. DOORS AND WINDOWS TO BE CENTERED BETWEEN ADJACENT WALLS U.D.
- 0-1 M-H CARBON MONOXIDE ALARM
- ⊗ S.A. = SMOKE DETECTOR (SMOKE DETECTORS TO BE INTERCONNECTED)
- FD = FLOOR DRAIN
- CB = CATCH BASIN
- ⊕ = EXHAUST FAN VENT TO OUTSIDE

No.	Date	Revision
1	04/03/20	DESIGNED FOR E.D. REVIEW
2	07/11/20	DESIGNED FOR E.D.
3	05/27/21	DESIGNED FOR E.D.
4	10/01/21	DESIGNED FOR E.D.



ALL NOTES, SPECIFICATIONS AND DETAILS ARE THE PROPERTY OF THE ARCHITECT. NO PART SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION OF THE ARCHITECT.

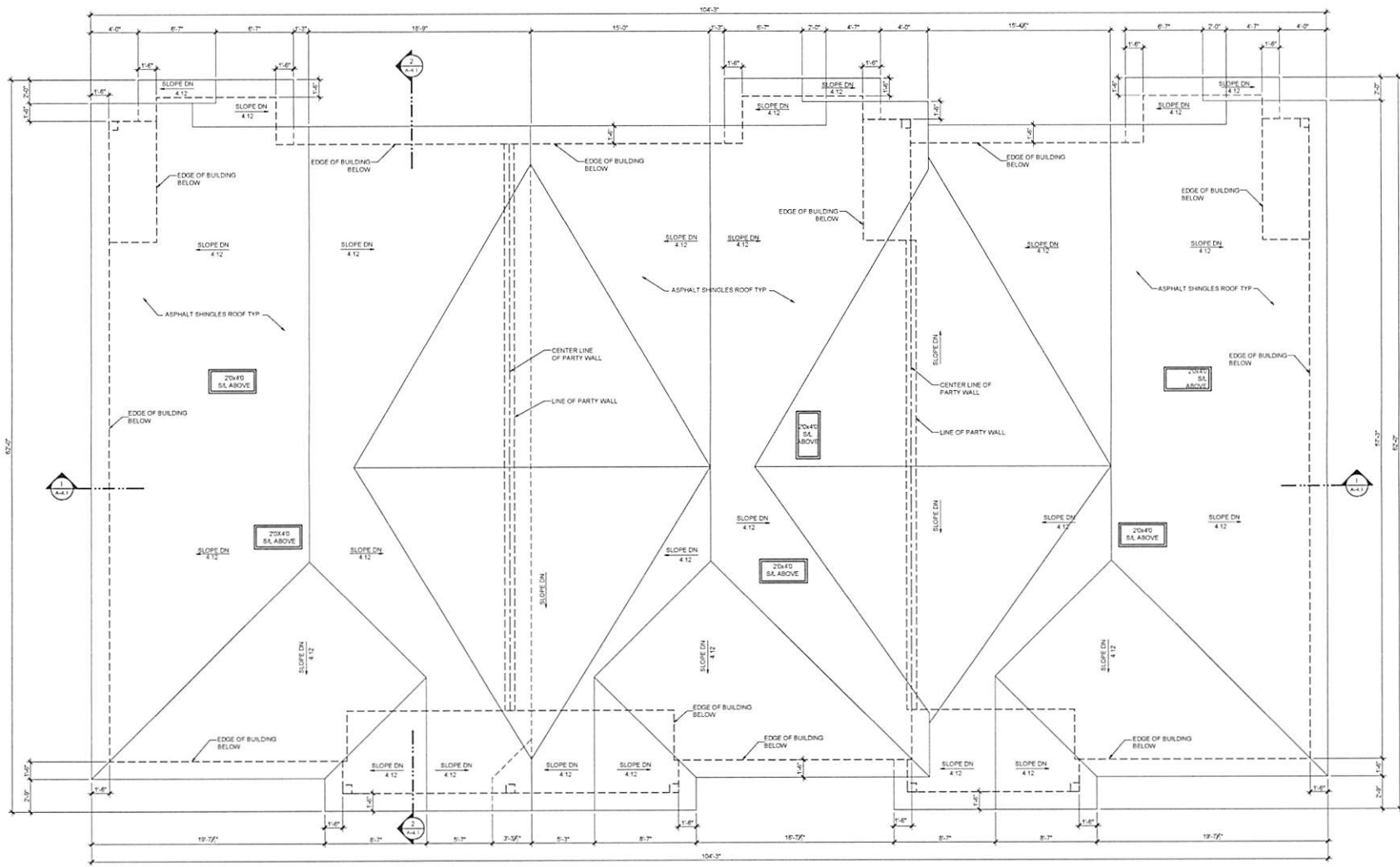
Title  
ROOF PLAN  
BUILDING -3

Date  
MARCH 19TH, 2021

Scale  
AS SHOWN

Drawing No.

**A2.4**



1 ROOF PLAN  
Scale: 1/4" = 1'-0"

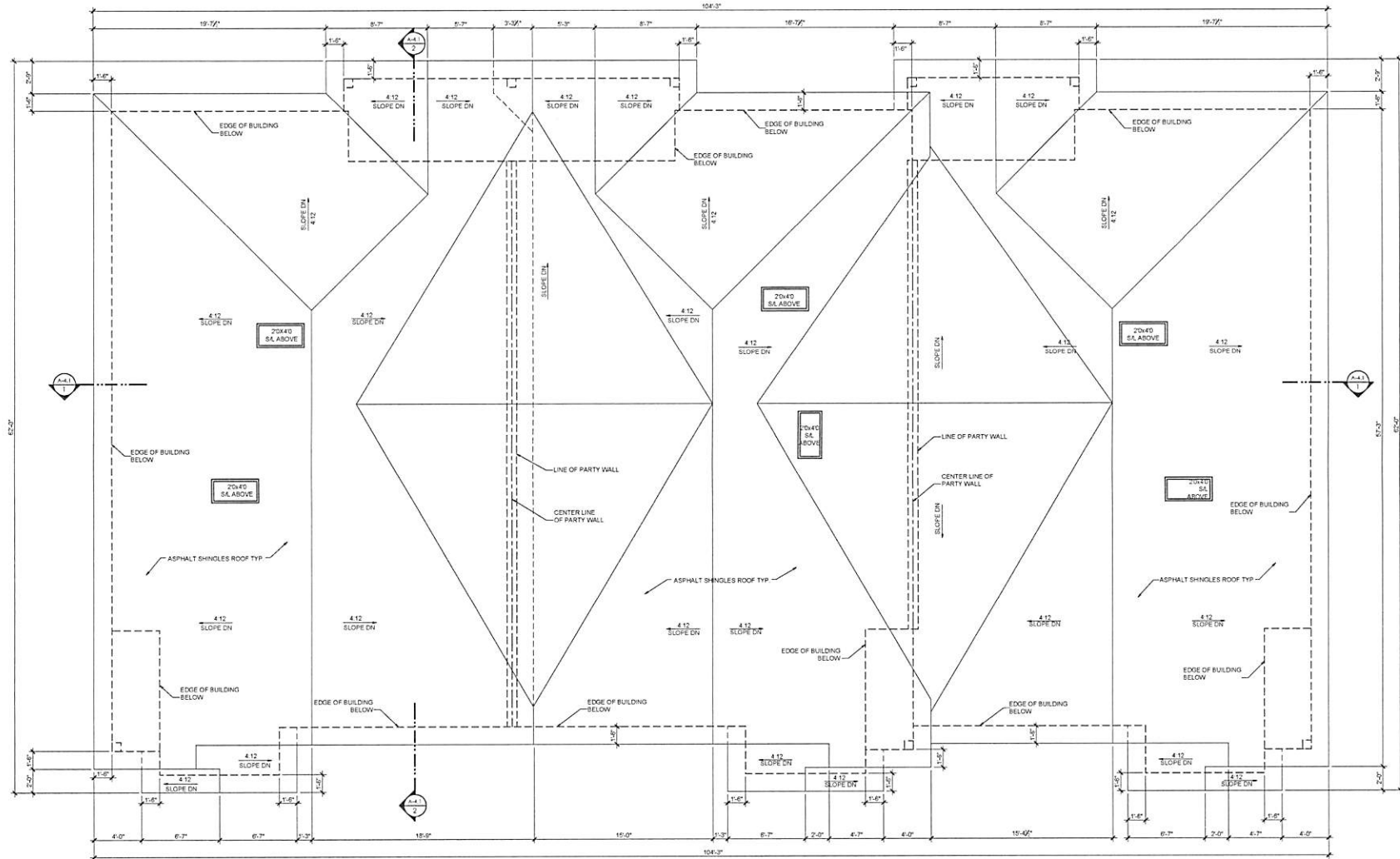


NOTES:  
1. ALL ROOF OVERHANGS 1'-0" UNO.  
2. VENTILATE ROOF SPACE OR ATTIC ABOVE AN INSULATED C/LG. TO 1000 OF INSULATED C/LG. AREA, WITH A MIN. OF 25% OF VENTING AT SOFFIT AND 25% AT RIDGE.  
IN ROOFS HAVING A SLOPE OF LESS THAN 1:6 OR OF JOIST CONSTRUCTION, VENTILATE ROOF TO 1500 OF THE INSULATED C/LG. AREA.

LEGEND:  
OH = OVERHANG  
□ = ROOF VENTILATION JACK

ADDRESS:

12TH AVE.,  
PORT ALBERNI, B.C.



1 ROOF PLAN  
Scale: 1/4" = 1'-0"



NOTES:  
1. ALL ROOF OVERHANGS 1'-0" UNO  
2. VENTILATE ROOF SPACE OR ATTIC ABOVE AN INSULATED CLG. TO  
1/300 OF INSULATED CLG. AREA, WITH A MIN. OF 25% OF VENTING AT  
SOFFIT AND 25% AT RIDGE  
IN ROOF HAVING A SLOPE OF LESS THAN 1:6 OR OF JOIST  
CONSTRUCTION, VENTILATE ROOF TO 1/500 OF THE INSULATED CLG. AREA

LEGEND:  
D.H. = OVERHANG  
☐ = ROOF VENTILATION JACK

No.	Date	Revised
1	04/07/20	ISSUED FOR DD REVIEW
2	07/11/20	ISSUED FOR RP
3	05/25/21	RE-DESIGNED FOR RP
4	10/07/21	RE-DESIGNED FOR RP



ALL IDEAS, DESIGNS AND DATA INCORPORATED BY  
THIS SET ARE OWNED BY AND REMAIN THE PROPERTY  
OF THE DESIGNER. THE USER SHALL BE  
LIABLE FOR PROTECTION OF ANY  
INTELLECTUAL PROPERTY  
OF THE DESIGNER

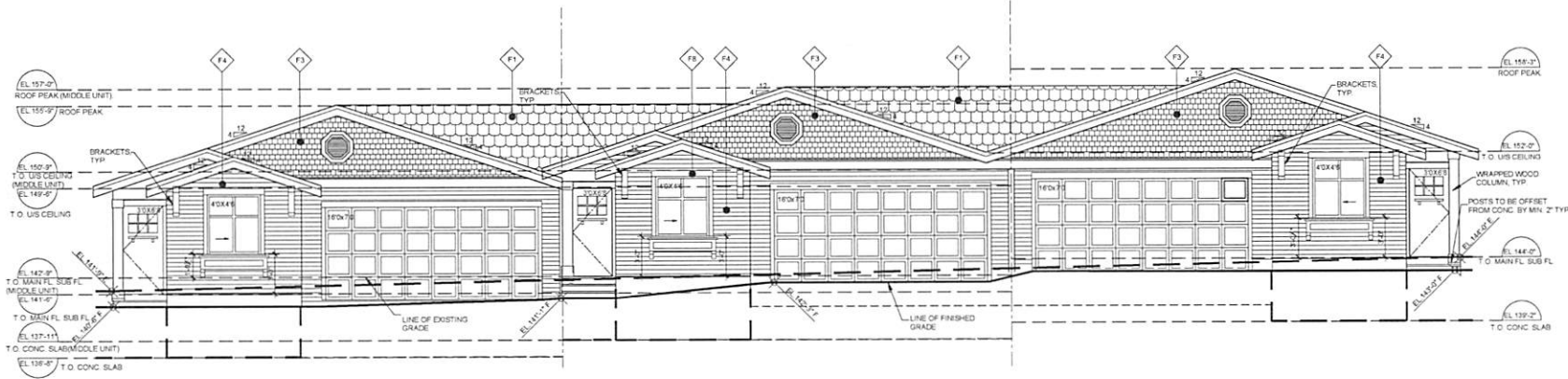
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ROOF PLAN  
BUILDING-4  
Date  
MARCH 19TH, 2021  
Scale  
AS SHOWN  
Drawing No.

A2.5

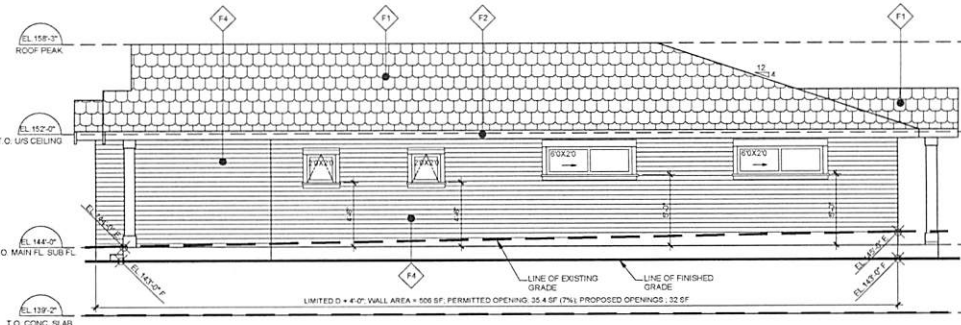


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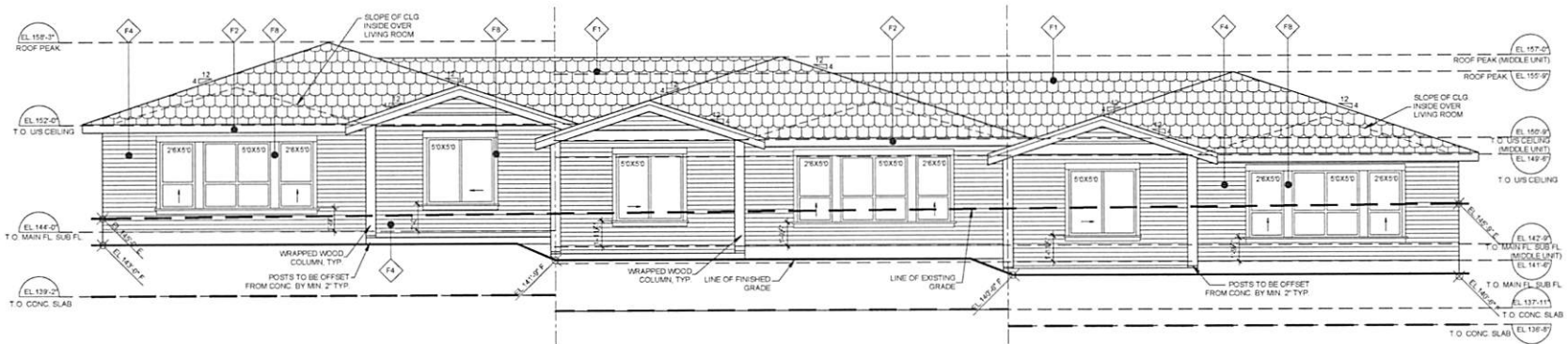
12TH AVE.,  
PORT ALBERNI, B.C.



1 WEST ELEVATION  
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION (NORTH ELEVATION SIMILAR)  
Scale: 1/4" = 1'-0"



3 EAST ELEVATION  
Scale: 1/4" = 1'-0"

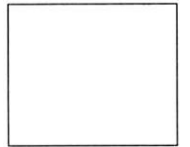
TYPICAL EXTERIOR  
MATERIALS

- F1 ROOF MATERIAL: ASPHALT SHINGLES
- F2 FASCIA MATERIAL: 1X4 PAINTED WOOD ON 2X10 PAINTED WOOD
- F3 EXTERIOR CLADDING MATERIAL: VINYL SHINGLES
- F4 EXTERIOR CLADDING MATERIAL: VINYL SIDING
- F5 GUTTERS & DOWNPIPES MATERIAL: ALUMINUM
- F6 HORIZONTAL TRIM MATERIAL: 2X10 PAINTED WOOD
- F7 TYPICAL WINDOW TRIM MATERIAL: 1X4 SIDE & 1X6 TOP TRIM, 2" SILL, 1X4 APRON
- F8 FLOATING TRUSS MATERIAL: 2X8 HORIZONTAL WOOD MEMBER, 2X6 VERTICAL WOOD MEMBERS

ELEVATION NOTES

1. CLEARANCE BETWEEN DIRECT VENT FLUES AND WINDOWS TO BE IN ACCORDANCE WITH FIREPLACE / FLUE MANUFACTURER'S WRITTEN INSTRUCTIONS AND TO THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION (CLEARANCE SHOULD BE CONFIRMED BEFORE WINDOW ORDER IS FINALIZED)
2. WINDOWS AND DOORS NOT LOCATED UNDER AND PROTECTED BY ROOF OVERHANGS TO BE FULLY FLASHED
3. ALL RETAINING WALLS TO BE PROJECT 6" ABOVE GRADE
4. 1" = FIXED BASH
5. ROUGH IN WINDOW HEAD HEIGHT TO BE 1'-0" BELOW CEILING UNO
6. WINDOW SIZES TO BE CONFIRMED WITH FRAMING CONDITIONS ON SITE

No.	Date	Revision
1	05/07/20	ISSUED FOR GO REVIEW
2	07/11/20	ISSUED FOR SP
3	07/29/21	RE-DESIGNED FOR SP
4	10/03/21	RE-DESIGNED FOR SP



ALL IDEAS, REVIEWS AND OTHER INFORMATION OF REPRESENTATIVE BY THIS SET OF PLANS SHALL BE THE PROPERTY OF THE ARCHITECT. NO PART SHALL BE USED OR REPRODUCED IN ANY MANNER WITHOUT PERMISSION OF THE ARCHITECT.

Title  
ELEVATIONS  
BUILDING 3

Date  
MARCH 19TH, 2021

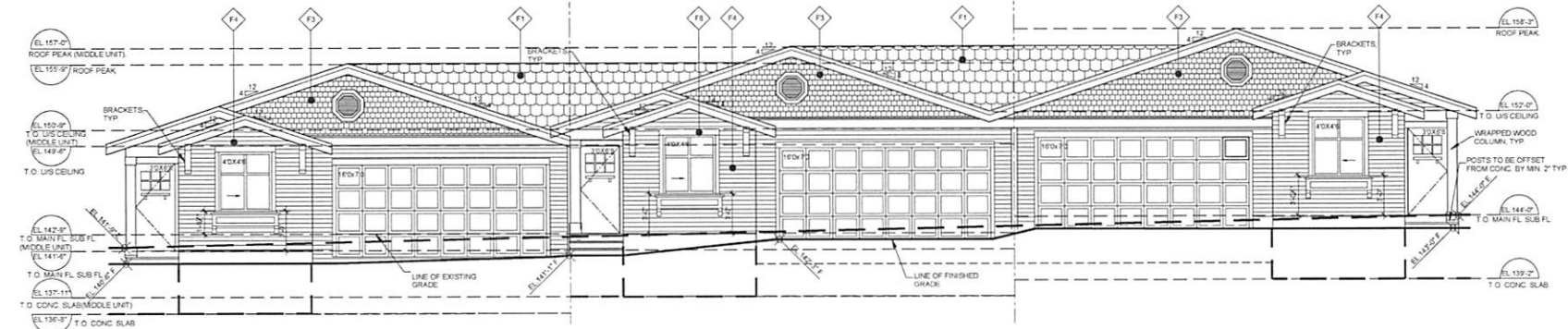
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AS SHOWN

Drawing No.

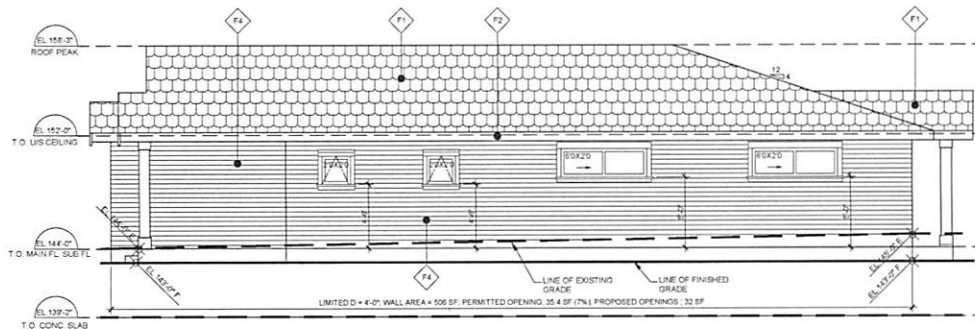
A3.1

ADDRESS:

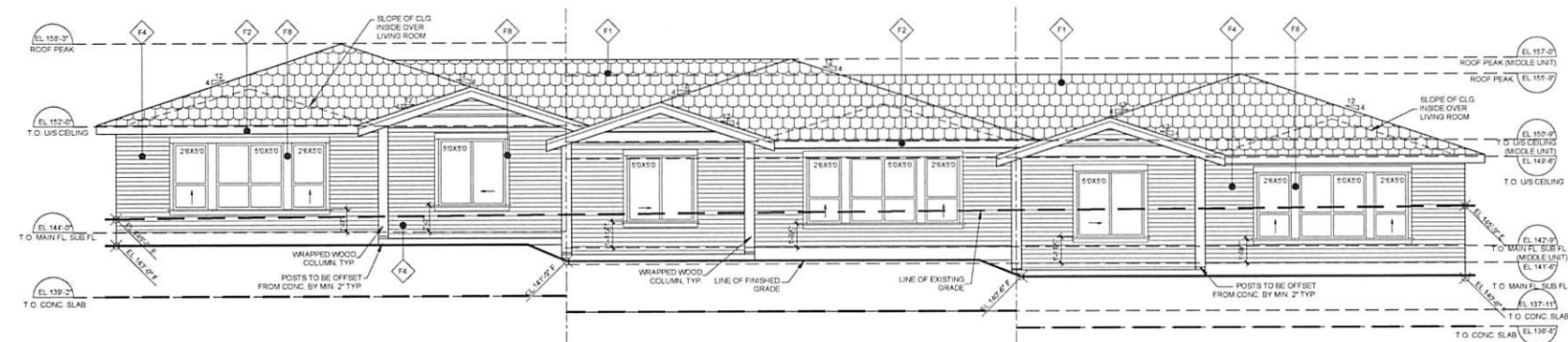
12TH AVE.,  
PORT ALBERNI, B.C.



1 EAST ELEVATION  
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION (SOUTH ELEVATION SIMILAR)  
Scale: 1/4" = 1'-0"



3 WEST ELEVATION  
Scale: 1/4" = 1'-0"

#### TYPICAL EXTERIOR MATERIALS

- F1 ROOF MATERIAL: ASPHALT SHINGLES
- F2 FASCIA MATERIAL: 1X4 PAINTED WOOD ON 2X10 PAINTED WOOD
- F3 EXTERIOR CLADDING MATERIAL: VINYL SHINGLES
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#### ELEVATION NOTES

1. CLEARANCE BETWEEN DIRECT VENT FLUES AND WINDOWS TO BE IN ACCORDANCE WITH FIREPLACE / FLUE MANUFACTURERS WRITTEN INSTRUCTIONS AND TO THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION (CLEARANCE SHOULD BE CONFIRMED BEFORE WINDOW ORDER IS FINALIZED)
2. WINDOWS AND DOORS NOT LOCATED UNDER AND PROTECTED BY ROOF OVERHANGS TO BE FULLY FLASHED
3. ALL RETAINING WALLS TO BE PROJECT 6" ABOVE GRADE
4. 7" x 4" FIXED SASH
5. ROUGH IN WINDOW HEAD HEIGHT TO BE 1'-0" BELOW CEILING IN D
6. WINDOW SIZES TO BE CONFIRMED WITH FRAMING CONDITIONS ON SITE

No.	Date	Revision
1	04/03/20	ISSUED FOR REVIEW
2	07/11/20	REVISION FOR RP
3	08/25/21	REVISION FOR RP
4	10/03/21	REVISION FOR RP



ALL IDEAS, PRICING AND DATA INDICATED BY CONTRACTOR TO BE USED FOR THE DESIGN. NO PART SHALL BE USED BY ANYONE OTHER THAN THE DESIGNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

Title  
ELEVATIONS  
BUILDING 4

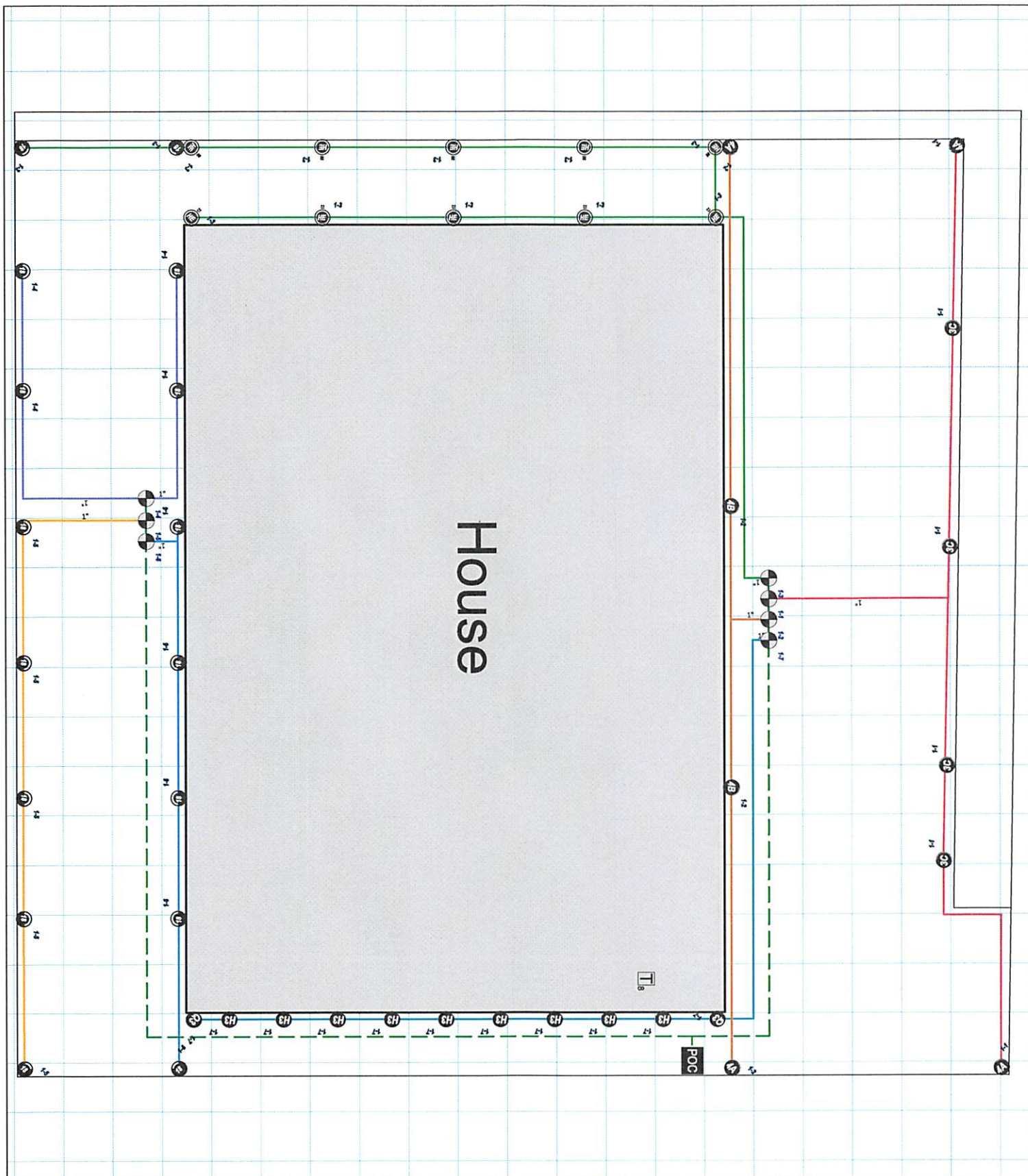
Date  
MARCH 19TH, 2021

Scale  
AS SHOWN

Drawing No.

A3.2





Homeowner to comply with local plumbing codes pertaining to backflow protection and service line connection. The accuracy of your drawing and how well you answer all related questions will determine the accuracy of your custom design. RAIN BIRD OFFERS THIS DESIGN ONLY AS A GUIDELINE. NO GUARANTEE OF DESIGN ACCURACY, SYSTEM INSTALLATION OR OPERATION IS IMPLIED.



SPRINKLER SYSTEM DESIGN

Registered trademark of Rain Bird Corporation  
© 2009 Rain Bird Corporation

Scale: Square = 5 x 5 ft

Sheet: Circuits/Piping

Date: 5/3/2021

Design No.  
C230993

Custom Designed For:

Raj Hayre  
3774 12th Ave  
Port Alberni, BC V4R0P4  
(778) 984-4468

Designed By:

Rain Bird Design Service

JZB

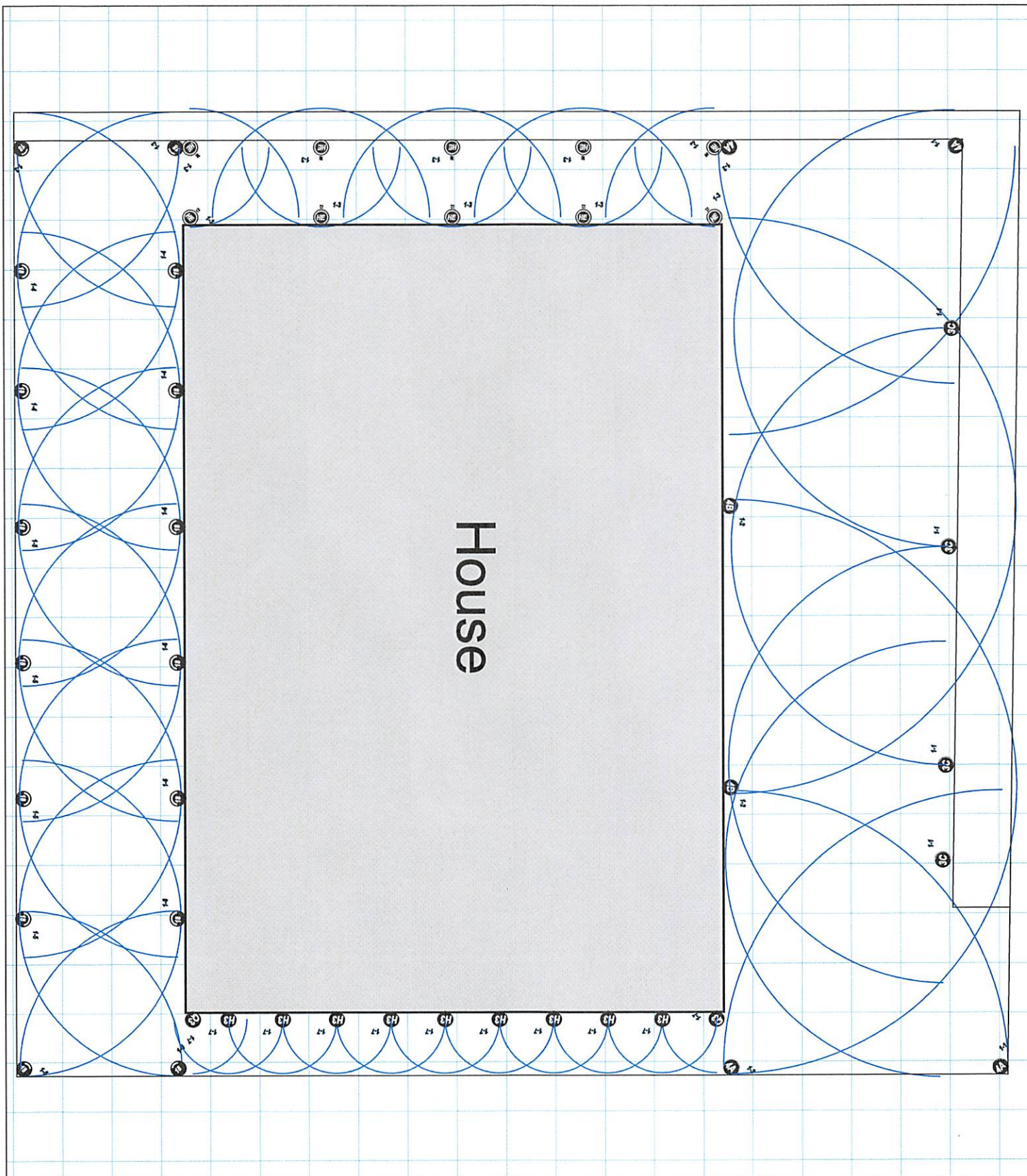
Questions About Your Design?

Email to [designservice@rainbird.com](mailto:designservice@rainbird.com)  
Call 1-800-426-7782

Contact Rain Bird  
for Product Questions







Homeowner to comply with local plumbing codes pertaining to backflow protection and service line connection. The accuracy of your drawing and how well you answer all related questions will determine the accuracy of your custom design. RAIN BIRD OFFERS THIS DESIGN ONLY AS A GUIDELINE. NO GUARANTEE OF DESIGN ACCURACY, SYSTEM INSTALLATION OR OPERATION IS IMPLIED.



#### SPRINKLER SYSTEM DESIGN

Registered trademark of Rain Bird Corporation  
© 2009 Rain Bird Corporation

Scale: Square = 5 x 5 ft

Sheet: Sprinklers/Patterns

Date: 5/3/2021

Design No.  
**C230993**

#### Custom Designed For:

Raj Hayre  
3774 12th Ave  
Port Alberni, BC V4R0P4  
(778) 984-4468

#### Designed By:

Rain Bird Design Service

JZB

#### Questions About Your Design?

Email to [designservice@rainbird.com](mailto:designservice@rainbird.com)  
Call 1-800-426-7782

Contact Rain Bird  
for Product Questions



## Irrigation Symbols

Qty	Symbol	Description	Part No.	Pressure
9		Rain Bird 8 MPR H Nozzle	A19713	30
2		Rain Bird 8 MPR Q Nozzle	A19714	30
3		Rain Bird HEVAN08 180°	HE0801	30
2		Rain Bird HEVAN08 90°	HE0801	30
3		Rain Bird HEVAN12 180°	HE1201	30
2		Rain Bird HEVAN12 90°	HE1201	30
12		Rain Bird 18 AP Nozzle 180°	A19814	30
4		Rain Bird 18 AP Nozzle 90°	A19814	30
4		Rain Bird 32SA 1.5	W32001	45
4		Rain Bird 42SA 1.0	W42003	45
2		Rain Bird 42SA 2.0	W42003	45
7		Rain Bird CPF100 Valve	B61287	
1		Rain Bird ST8I 2.0 Controller	C53111	
1		1 inch meter (or point of connection)		
669.53 (ft)		Lateral - Poly 80 1" Pipe		
166.16 (ft)		Mainline - Poly 80 1" Pipe		

Valves and pipe are indicated for graphic clarity. Locate as appropriate.  
 Indoor timers to be installed inside or in waterproof cabinet.  
 Accuracy of the design is limited to the accuracy of the drawing and information submitted.  
 System designed for water flow of 12 GPM at 59 PSI.

\*\* The custom irrigation system design (the "Design") that Rain Bird Corporation ("Rain Bird") is preparing for you is based upon drawings and other information that you provide to Rain Bird, and so the Design will be affected by the accuracy and completeness of this information. Also, the Design is based upon the assumption that Rain Bird products will be used in the irrigation system, and the effectiveness of the Design may be adversely impacted if other manufacturers' products are used. There are no warranties on the Design, express or implied, including with respect to whether the Design complies with applicable codes, nor will Rain Bird be responsible for any incidental or consequential damages.

\*\*\*Hydraulic calculations maintain water velocity below 5 feet per second.

Homeowner to comply with local plumbing codes pertaining to backflow protection and service line connection. The accuracy of your drawing and how well you answer all related questions will determine the accuracy of your custom design.  
 RAIN BIRD OFFERS THIS DESIGN ONLY AS A GUIDELINE. NO GUARANTEE OF DESIGN ACCURACY, SYSTEM INSTALLATION OR OPERATION IS IMPLIED.

**RAIN BIRD®**  
 SPRINKLER SYSTEM DESIGN  
 Registered trademark of Rain Bird Corporation  
 © 2009 Rain Bird Corporation

Scale: Square = 5 x 5 ft  
 Sheet: Circular/Piping  
 Date: 5/3/2021  
 Design No. C230993

Custom Designed For:  
 Raj Hayre  
 3774 12th Ave  
 Port Alberni, BC V4R0P4  
 (778) 984-4468

Designed By:  
 Rain Bird Design Service  
 Questions About Your Design?  
 Email to [designservice@rainbird.com](mailto:designservice@rainbird.com)  
 Call 1-800-426-7782

Contact Rain Bird  
 for Product Questions  




# Customer Shopping List

## Sprinklers

Qty	Description	Model No.	Part No.
4	32SA Simple Adjust Gear Drive Rotor, 19'-32'	32SA	W32001
4	32 SA Nozzle Pack	32SANZLPK	W32005
6	42SA Heavy Duty Simple Adjust Gear Drive Rotor, 26'-38'	42SA+	W42003
4	42SA+, 52SA, 42SA Nozzle Pack	4252NZLPK	W42011
37	4" Pop-up Spray Head, No Nozzle	1804LN	N90020
16	14'-18' Spray Nozzle, Adjustable Pattern	18APC1	A19814
9	5'-8' Spray Nozzle, Half Circle	8HC1	A19713
2	5'-8' Spray Nozzle, Qtr Circle	8QC1	A19714
5	12 Ft High Efficiency VAN Nozzle	HEVAN12	HE1201
5	8 Ft High Efficiency VAN Nozzle	HEVAN08	HE0801

## Pipe

Qty	UOM	Description
850	Ft	Poly 80 1" Pipe

## Fittings/Accessories (List will vary depending on final piping installation)

Qty	UOM	Description
11	Pcs	Tee (Ins x Ins x Ins) 1 x 1 x 1
13	Pcs	90° Ell (Ins x Ins) 1 x 1
4	Pcs	90° Reducing Ell (Ins x F) 1 x 3/4
	Ft	18 Gauge Irrigation wire. Customer to calculate quantity based on the main line trench and distance to the controller. See <a href="http://www.rainbird.com/homeowner/education/installationguide.htm">http://www.rainbird.com/homeowner/education/installationguide.htm</a>

## Dripline

Qty	Description	Model No.	Part No.
-----	-------------	-----------	----------

## Sprinkler Valves

Qty	Description	Model No.	Part No.
7	1" In Line Valve w/Flow Control	CPF-100	B61287

## Automatic Timers

Qty	Description	Model No.	Part No.
1	8-Zone Smart Irrigation WiFi Sprinkler Timer (indoor)	ST8I 2.0 WiFi	C53111

## Rain Bird Accessories

Qty	Description	Model No.	Part No.
2	Grease Caps 10-Pack	WPCONN10	N90300
1	Spray Head Pull Up Tool	PTC1	N89900
41	Swing Assembly, 6"x1/2"x1/2"	SA5	A17080
6	Swing Assembly, 6"x3/4"x3/4"	SA75	A17082

## Rain Bird Tools

Qty	Description	Model No.	Part No.
-----	-------------	-----------	----------

## Rain Bird Optional Equipment

Qty	P No.	Description
-----	-------	-------------

\*Optional WiFi Enabled Controllers ST8I-WiFi and ST8O-WiFi (8-zone only)

\* Underground and Drip fittings/accessories are estimated. Add items as needed.

\*\* The custom irrigation system design (the "Design") that Rain Bird Corporation ("Rain Bird") is preparing for you is based upon drawings and other information that you provide to Rain Bird, and so the Design will be affected by the accuracy and completeness of this information. Also, the Design is based upon the assumption that Rain Bird products will be used in the irrigation system, and the effectiveness of the Design may be adversely impacted if other manufacturers' products are used. There are no warranties on the Design, express or implied, including with respect to whether the Design complies with applicable codes, nor will Rain Bird be responsible for any incidental or consequential damages.

\*\*\* If STP120XFMR transformer is used, follow installation to timer instructions for UT1 model at [http://www.rainbird.com/documents/diy/man\\_UT1.pdf](http://www.rainbird.com/documents/diy/man_UT1.pdf)

Contact Rain Bird  
for Product Questions



Designed By:  
**Rain Bird Design Service**

Questions About Your Design?

Call 1-800-426-7782

Fax to 1-800-862-4927

Email to [designservice@rainbird.com](mailto:designservice@rainbird.com)

Custom Designed For:

Raj Hayre

3774 12th Ave

Port Alberni, BC

(778) 984-4468

[raj.hayre@shaw.ca](mailto:raj.hayre@shaw.ca)

By: JZB

Sheet Shopping List

Date: 05/03/2021

Design No.


**C230993**



SPRINKLER SYSTEM DESIGN

© Registered trademark of Rain Bird Corporation  
© 2014 Rain Bird Corporation

Date: January 21, 2022  
File No: 3090-20-DVP109 & 3060-20-DP21-12  
To: Mayor & Council  
From: Scott Smith, Acting CAO | Director of Development Services  
Subject: **DEVELOPMENT APPLICATION – Development Variance Permit No. 109 & Development Permit No. 21-12 and 5535 Woodland Crescent**  
Lot 40, Section 9, Alberni District Plan VIP62208  
023-235-748  
Applicant: Dycon Construction Ltd.

Prepared by:  Price Leurebourg, Development Planner	Supervisor:  Scott Smith, Director of Development Services / Acting CAO	A   CAO Concurrence:  Scott Smith, Acting CAO
---	---	--

#### RECOMMENDATION[S]

- i. That Council authorize the issuance of Development Variance Permit No. 109 and that the Director of Corporate Services be authorized to sign the permit granting the following variances to the Zoning Bylaw at 5535 Woodland Crescent:
  - a. Vary section 5.14.2 Site Development Regulations to permit a reduction of the required frontage from 30 metres to 27.192 metres, a variance of 2.8 metres.
  - b. Vary section 5.14.2 Site Development Regulations to permit a reduction of the required rear yard setback from 9 metres to 7.5 metres, a variance of 1.5 metres.
- ii. That Council authorize the issuance of Development Permit No. 21-12 and that the Director of Corporate Services be authorized to sign the permit including the development plans as shown on Schedule 'B', prepared by Dycon Construction Ltd., subject to the City of Port Alberni receiving the required landscaping security in the amount of \$21,588.

#### PURPOSE

To consider Development Permit No. 21-12 with regards to an application to construct 11 two-storey, three-bedroom units at 5535 Woodland Crescent. Also, to consider the issuance of Development Variance Permit No. 109 for to reduce the required frontage and rear yard setback under Section 5.14.2 of "Port Alberni Zoning Bylaw 2014, Bylaw No. 4832".

#### BACKGROUND

The subject property is zoned RM1 – Low Density Multiple Family Residential, and is within the Multiple Family Residential Development Permit Area in the Official Community Plan (OCP). The Multiple Family Residential Development Permit Area regulates the form and character of multi-family residential development.

The applicant is proposing to build 11 three-bedroom units on the property. The two-storey units will be arranged as three triplex structures and one duplex, on a corner lot on Woodland Crescent. Plans have been submitted by the applicant to support a review of the proposed development.



## ALTERNATIVES/OPTIONS

- Option 1 – Proceed with issuing Development Variance Permit No. 109 and Development Permit No. 21-12.
- Option 2 – Do not proceed with issuing the permits, and request further revisions from the applicant.
- Option 3 – Provide alternative direction.

Staff have reviewed the proposal and are in support of Option 1.

## ANALYSIS

### Site Plan

The subject property is located in the northeast corner of the Woodland Crescent subdivision, and is 0.65 acres (0.26 hectares) in area. The applicant is proposing to construct an 11-unit multi-family residential development. The two-storey units will be arranged as three triplex structures and one duplex. The duplex is proposed to be located at the entrance of the site to the southwest of the lot. Two triplex buildings are proposed to be located along the north property line, with a third in the southeast corner of the lot. The primary exterior building materials will consist of vinyl siding and painted wood trim.

The duplex building dimensions are approximately 10.97 metres in depth, 13.41 metres in width, and 10 metres in height. The triplex building dimensions are approximately 10.97 metres in depth, 20.12 metres in width, and 10 metres in height. The development will cover 22% of the lot, well below the maximum permitted lot coverage of 40%.

Table 1 – 5.14.2 RM1 Site Development Regulations				
	Required		Proposed	
Minimum Lot area	1000 m <sup>2</sup>	(10,764 ft <sup>2</sup> )	2,636.53 m <sup>2</sup>	(28,379 ft <sup>2</sup> )
Minimum Frontage	30 m	(98.4 ft)	27.192 m	89.21 ft
Maximum Coverage	40%		22%	
Minimum Setbacks				
Front yard	7.5 m	(24.6 ft)	7.5 m	24.5 ft
Rear yard	9 m	(29.5 ft)	7.5 m	24.5 ft
Side yard	1.5 m	(4.9 ft)	1.5 m	4.9 ft
Side yard	1.5 m	(4.9 ft)	1.5 m	4.9 ft
Max Floor Area Ratio	0.5		0.39	
Maximum Height, Principal Building	10 m	(32.8 ft)	8.23 m	27 ft
Maximum Number of Principal Building Storeys	2.5		2	

Table 2 – 5.14. Useable Open Space				
	Required		Proposed	
Useable open space • 45 m <sup>2</sup> per dwelling unit	495 m <sup>2</sup>	5,328.14 ft <sup>2</sup>	580 m <sup>2</sup>	6,243.07 ft <sup>2</sup>

Vehicular access to the site will be from Woodland Crescent, with direct access from the street to the duplex and from the internal road to the three triplexes. The development will have a total of 14 parking spaces which complies with the requirements of the Zoning Bylaw. Required parking provided through a combination of garage spaces and visitor spaces.

Table 3 – 7.9 Required Amount of Parking		
	Required	Proposed
Multi Family Townhouses • 1.25 stalls per dwelling unit	14	14

#### Landscaping

The perimeter of the property will be screened with 5-foot cedar fencing. Additionally, landscaping is proposed throughout the site and will consist of a various plants, shrubs, and trees of various heights. The applicant has submitted an estimate for soft landscaping totalling \$21,588. If Council approves this development application, a Landscape Security in the amount of the estimate will be required prior to the Director of Corporate Services signing the permit.

#### Variance

The proposal reduces the frontage from 30.0 metres to 27.192 metres (9% variance) and the required rear yard setback from 9 metres to 7.5 metres (17% variance). The reduced frontage is a result of the existing conditions of the corner lot of this subdivision, while the rear yard was compressed in order to meet the requirements for fire separation between buildings.

The existing site boundaries make compliance with the frontage requirement of the Zoning Bylaw unachievable. The applicant has worked with staff to address concerns regarding access to the site and ensure the front yard setback complies with municipal requirements. No negative impacts are anticipated as a result of the reduced frontage.

The reduction to the rear yard setback was proposed to account for the fire separation distance required between the buildings. No negative impacts are anticipated as a result of the setback reduction.

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## IMPLICATIONS

1. Development Permit No. 21-12

Issuing the Development Permit will allow the proposed development to proceed at 5535 Woodland Crescent. Staff have reviewed the design, and are satisfied that it meets the Multi-Family Residential Development Permit Area guidelines in the OCP. However, the Development Permit cannot be issued without also issuing the Development Variance Permit.

2. Development Variance Permit No. 109

Issuing the Development Variance Permit will allow the development to proceed with a narrower frontage and smaller rear yard than is currently required by the Zoning Bylaw. Not issuing the Development Variance Permit for the narrow frontage would likely remove any possibility of multi-family development on the site, while denying the reduced rear yard would require the applicant to revise their site layout and building designs in a way that will allow the rear yard to comply with the Zoning Bylaw.

Issuing both Development Permit No. 21-12 and Development Variance Permit No. 109 will allow the proposed development to proceed at 5535 Woodland Crescent. Staff have reviewed the design and are satisfied that it meets the intent of the Multiple Family Residential Development Permit Area guidelines in the OCP.

## COMMUNICATIONS

Public notice of the requested variance was given as per the requirements of the *Local Government Act*. Owners and occupants of all properties within 75 metres of 5535 Woodland Crescent were mailed a notice 10 days prior to the scheduled meeting date of January 31<sup>st</sup>.

## BYLAWS/PLANS/POLICIES

1. Official Community Plan Policy – Development Permit Areas (Section E: Implementation)

This application has been reviewed according to the Multiple Family Residential Design Guidelines listed in Section E – Implementation, 1.0 Development Permit Areas of the City of Port Alberni's OCP.

The intent of the Multiple Family Residential Development Permit Area in the OCP is to coordinate the siting, massing, and form of buildings, together with parking areas, landscaping, and common areas in order to maximize the liveability of higher density residential developments and to control the interface with adjacent land uses. This is implemented by the City through Design Guidelines in the OCP that provide direction on lighting, landscaping, vehicular access, and other aspects of the development.

2. Zoning Bylaw 2014 4832:

The application has been reviewed for compliance with the Zoning Bylaw. The purpose of RM1 Low Density Multiple Family Residential zone is to provide for lower density multiple family residential development. The subject property and the proposed development meet most of the Site Development Regulations of the RM1 zone, however, 2 variances are required.



## **SUMMARY**

The City has received an application for a Development Permit at 5535 Woodland Crescent. The proposed development will result in the construction of 4 multi-family residential buildings on the property. The applicant has submitted a design proposal that meets the Development Permit Area guidelines in the Official Community Plan. The Planning Department supports the issuance of Development Permit No. 21-12 and Development Variance Permit No. 109 for 5535 Woodland Crescent with the conditions outlined in the attached permits.

### **Development Permit No. 21-12**

The site layout and design meet the Development Permit Area guidelines in the Official Community Plan. The proposed development also meets the Site Development Regulations of the RM1 Low Density Multiple Family Residential zone.

### **Development Variance Permit No. 109**

The applicant has requested variances to reduce the required frontage from 30.0 metres to 27.192 metres and the required rear yard setback from 9 metres to 7.5 metres. Staff have reviewed the application and are satisfied that the requested variances to the Zoning Bylaw are not likely to have a negative impact on the surrounding neighbourhood.

## **ATTACHMENTS/REFERENCE MATERIALS**

- Development Variance Permit No. 109
- Development Permit No. 21-12
- Subject Property Map
- Advisory Planning Commission November 18, 2021 Meeting Minutes
- Staff Report to the Advisory Planning Commission dated November 18, 2021
- Updated Renderings

c:     *T. Slonski, Director of Corporate Services*  
       *A. McGifford, Director of Finance*  
       *R. Gaudreault, Building/Plumbing Inspector*



## CITY OF PORT ALBERNI

### DEVELOPMENT VARIANCE PERMIT NO. 109

**WHEREAS**, pursuant to Section 498 of the *Local Government Act, RSBC 2015*, on application of an owner of land, a local government may, by resolution, issue a Development Variance Permit that varies, in respect to the land covered in the Permit, the provisions of a Zoning Bylaw adopted under Part 14 of the *Local Government Act*. Authorization is hereby granted to:

**Carey Conover dba Dycon Construction Ltd.,  
990 View Rd,  
Qualicum Beach, BC V9K 1N3**

to:

- a. *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required frontage from 30 metres to 27.192 metres, a variance of 2.8 metres.*
- b. *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required rear yard setback from 9 metres to 7.5 metres, a variance of 1.5 metres.*

for development on lands legally described as *Lot 40, Section 9, Alberni District, Plan VIP62208 (PID:023-235-748)* and located at **5535 Woodland Crescent East**, as shown on the Schedule A map attached.

In accordance with the provisions of Section 498 of the *Local Government Act RSBC 2015*, approval of this Permit was granted by resolution of the City Council on \_\_\_\_\_.

This Permit is issued under the Seal of the City of Port Alberni on Month, Day, Year.

\_\_\_\_\_  
Corporate Officer

\_\_\_\_\_  
Date

[illegible]

# CITY OF PORT ALBERNI

**DEVELOPMENT PERMIT NO. 21 - 12**

**Development Permit Issued to: Carey Conover dba Dycon Construction Ltd.  
990 View Rd, Qualicum Beach, BC V9K1N3**

The land affected by this permit is shown on Schedule A attached hereto and forming part of this Permit and is legally described as the whole or/a portion of:

**Lot 40, Section 9, Alberni District, Plan VIP62208 (PID:023-235-748)**  
**located at**  
**5535 Woodland Crescent East**

## CONDITIONS OF PERMIT

1. Development of the land to be undertaken shall be limited to the area shown on Schedule A.
2. Development of the land to be undertaken shall be in accordance with the development plans shown on Schedule B attached hereto and forming part of Development Permit No. 21-12.
3. An Irrevocable Letter of Credit or other security is required in the amount of \$21,588.00 for landscaping.
4. The owner of the land shall provide the general contractor and all professionals associated with the development with copies of this permit.
5. The owner of the land shall maintain any undeveloped land in a neat and tidy condition at all times.
6. If there has not been any substantial commencement of construction with respect to which the permit was issued within two years after the date it was issued, the permit lapses.

**The City of Port Alberni shall file notice of this permit in the Land Title Office stating the land is subject to Development Permit No. 21-12.**

In accordance with the provisions of Section 489 of the *Local Government Act RSBC 2015*, approval of this Permit was granted by resolution of the City Council on \_\_\_\_\_.

**Corporate Officer**

Date \_\_\_\_\_

**THIS IS NOT A BUILDING PERMIT**

[illegible]

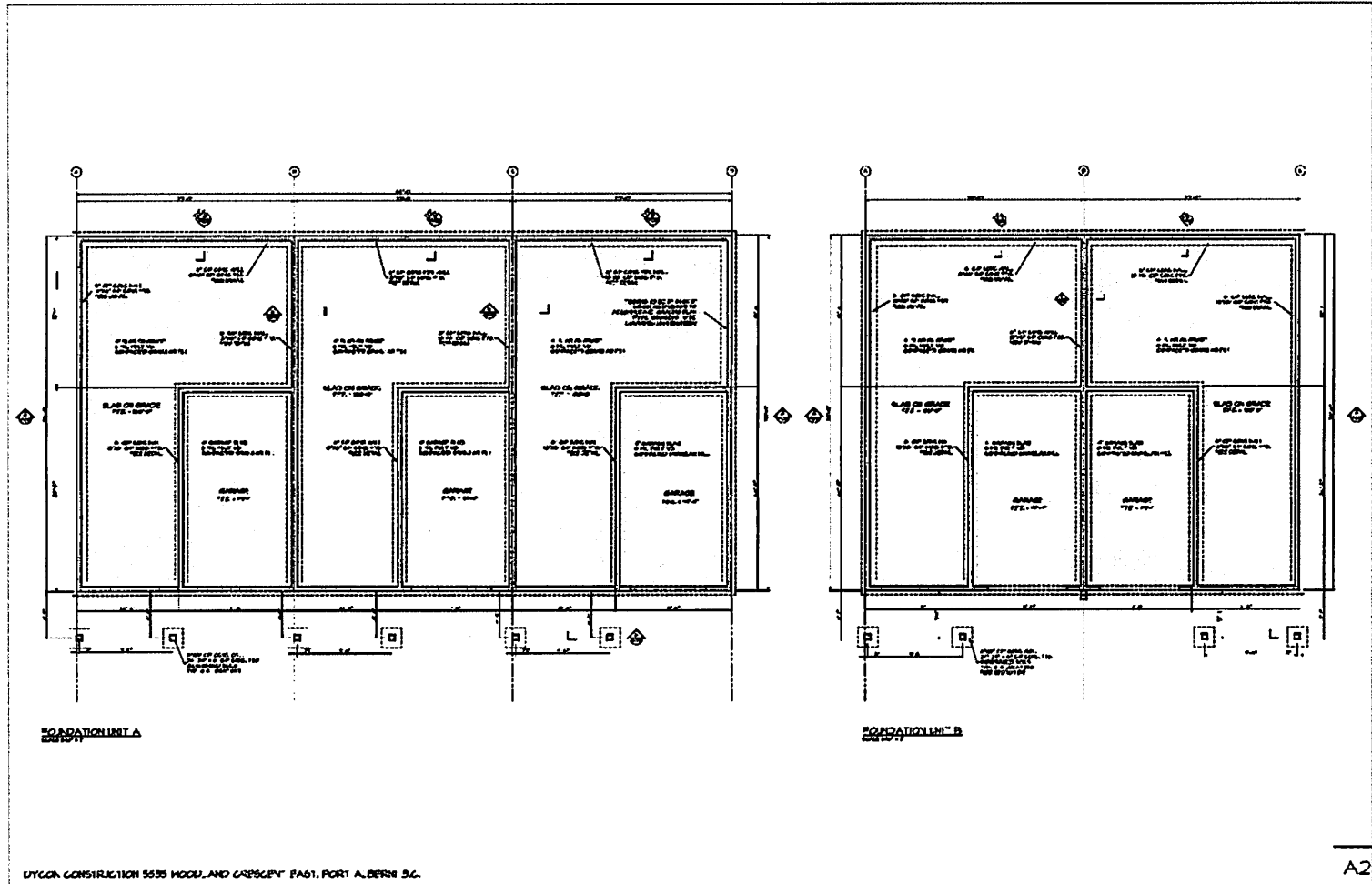
a) *Dycon Construction Ltd. – Site Plan (A1)*





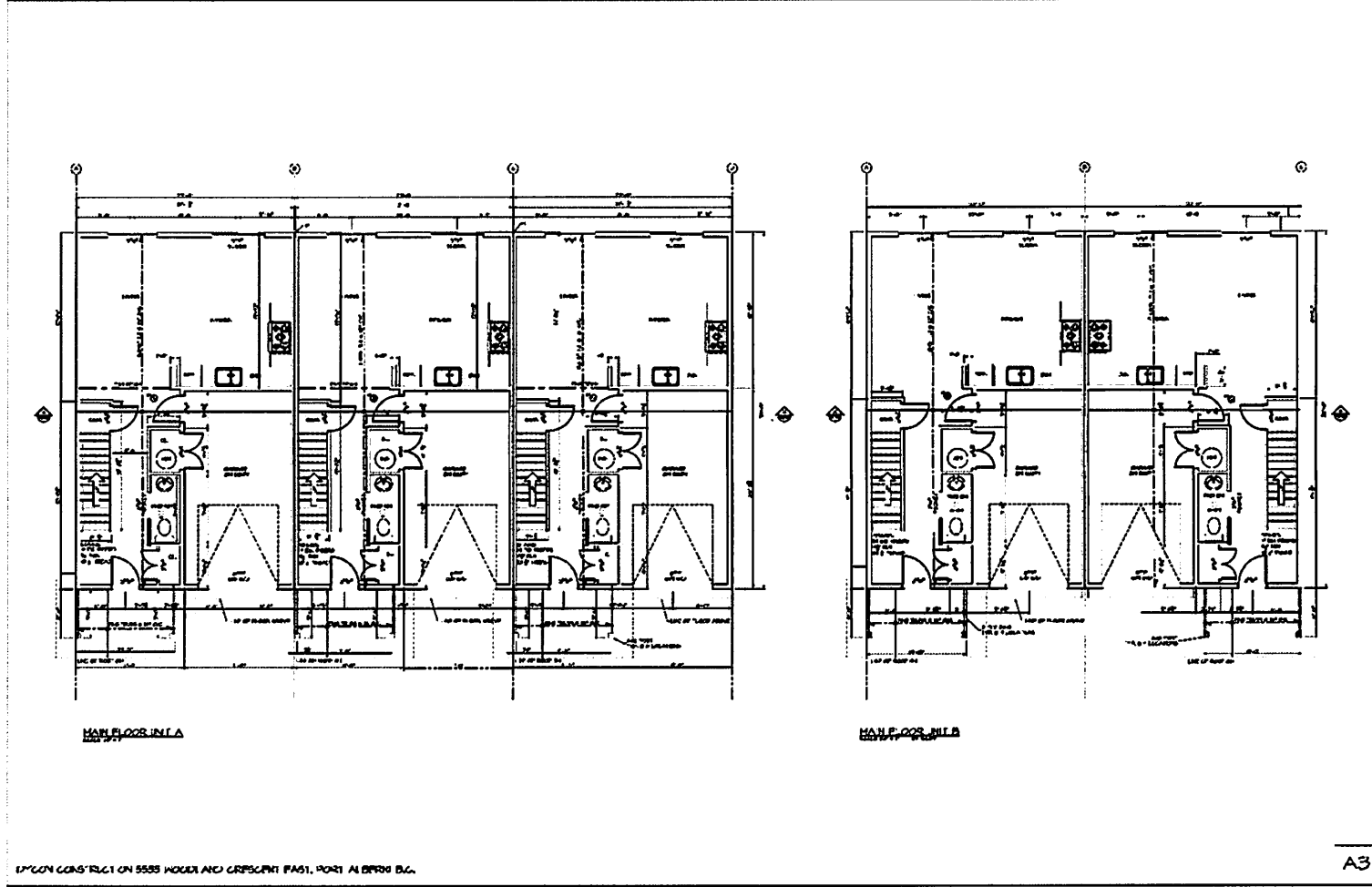
# **SCHEDULE B** **TO DEVELOPMENT PERMIT 21-12**

b) Dycon Construction Ltd. – Foundation Plan (A2)



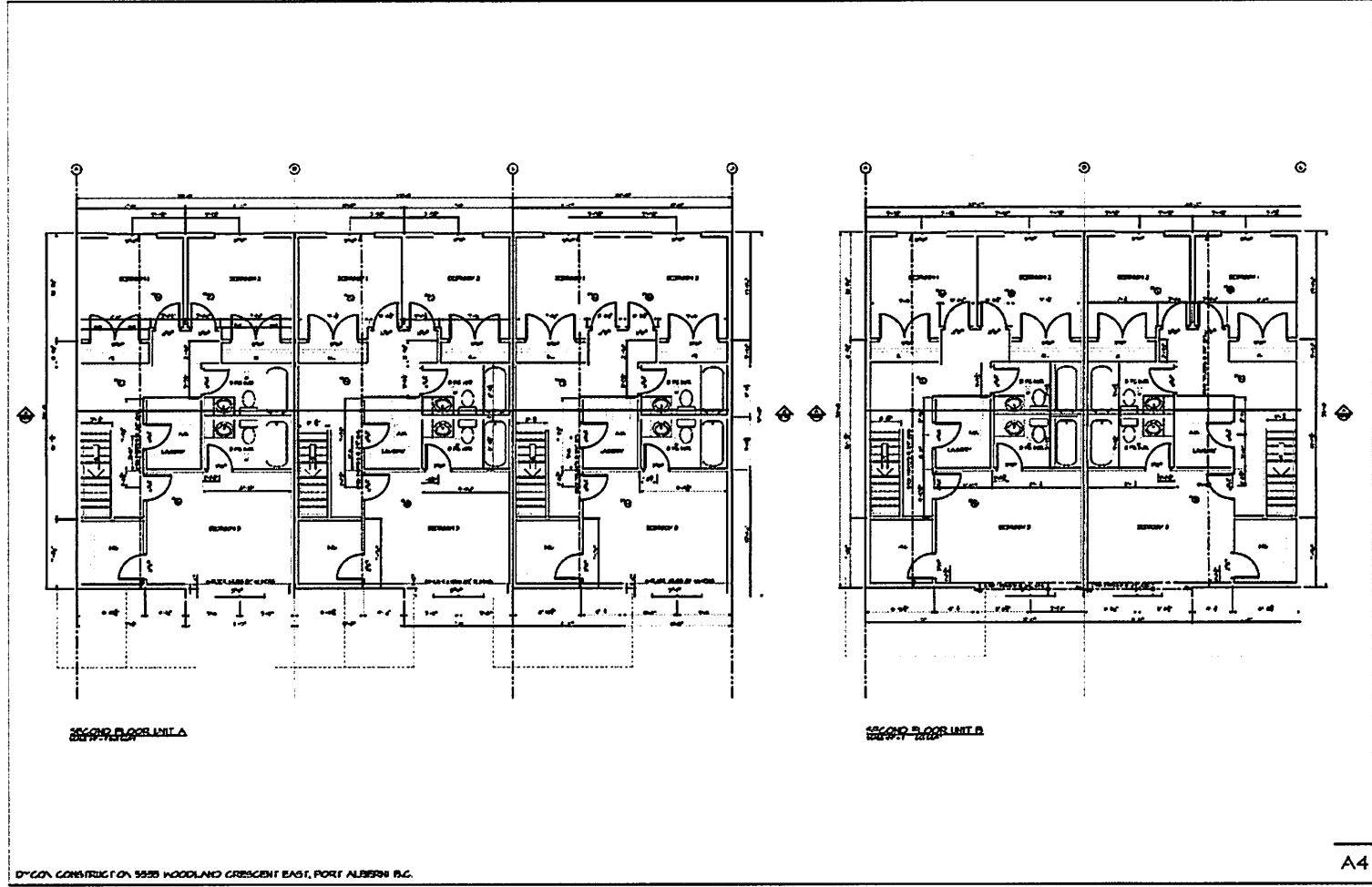
# **SCHEDULE B** **TO DEVELOPMENT PERMIT 21-12**

c) Dycon Construction Ltd. – Main Floor Plans (A3)



# **SCHEDULE B** **TO DEVELOPMENT PERMIT 21-12**

d) Dycon Construction Ltd. – Second Floor Plans (A4)



# SCHEDULE B TO DEVELOPMENT PERMIT 21-12

e) Dycon Construction Ltd. – Unit A Elevations (A5)



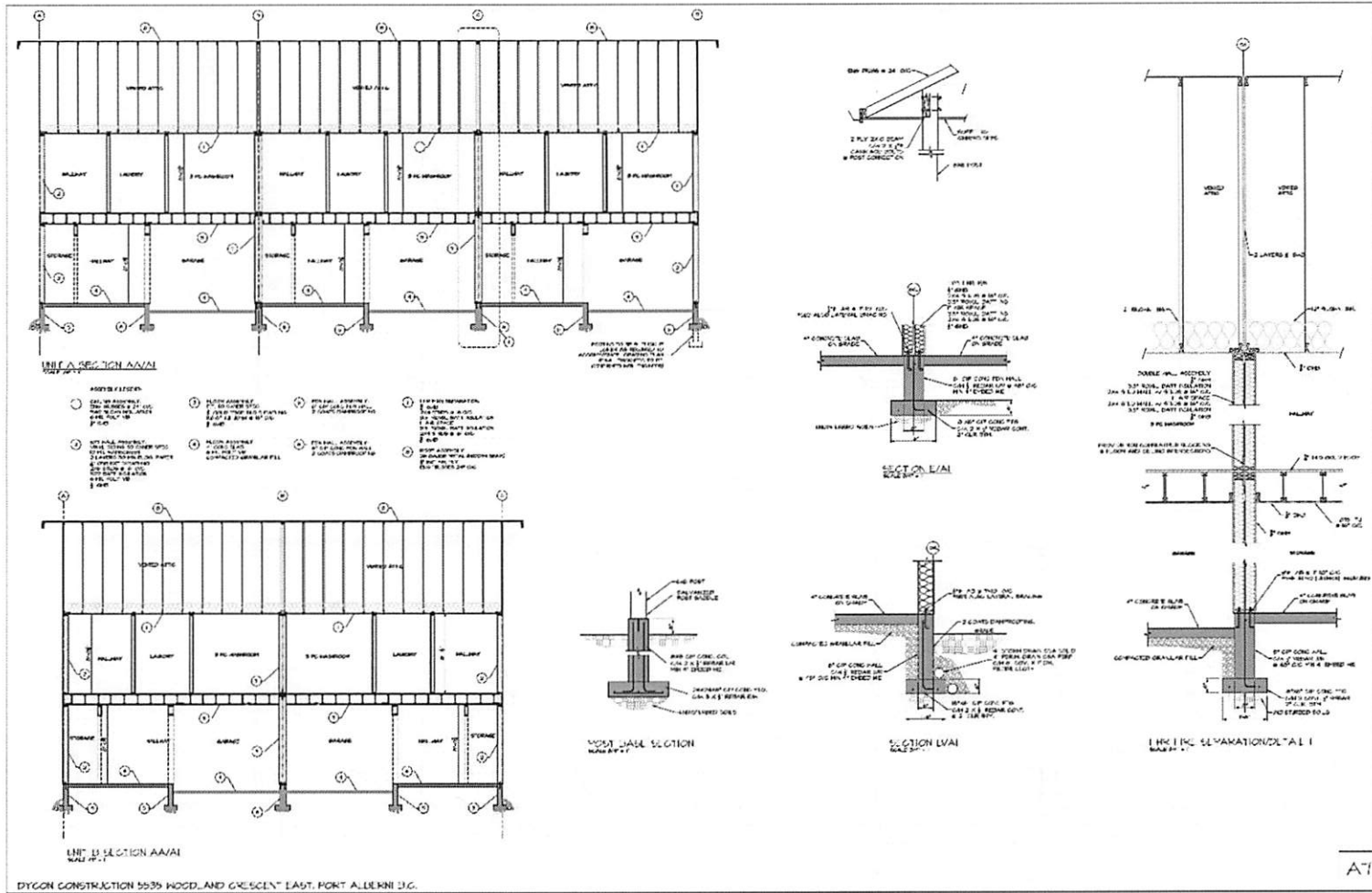


f) *Dycon Construction Ltd. – Unit B Elevations (A6)*



# SCHEDULE B TO DEVELOPMENT PERMIT 21-12

g) Dycon Construction Ltd. – Section Plans (A7)



#### h) Dycon Construction Ltd. – Unit A Braced Wall Band and Braced Wall Plans (A8)



i) Dycon Construction Ltd. – Unit B Braced Wall Band and Braced Wall Panel Plans (A9)







**Summary Report / Minutes of the Advisory Planning Commission Meeting  
held on November 18, 2021 at 12:00 p.m.  
(Council Chambers, Port Alberni City Hall, 4850 Argyle Street)**

**Commission Members Present**

Ken McRae (Chair)  
Amy Anaka  
Jolleen Dick, Councillor, Hupačasath F.N.  
Callan Noye  
Ken Watts, (CEO Tseshah (č išaa?ath) F.N)  
Ed Francoeur (Vice-Chair)  
Stefanie Weber  
Joe McQuaid  
Andre Guerin, P.A.F.D. Liaison  
Councillor Deb Haggard, Council Liaison

**Staff**

Scott Smith, Dir. of Dev. Services/Deputy CAO  
Brian McLoughlin, Development Planner  
Price Leurebourg, Development Planner  
Cara Foden, Planning Technician

**Guests**

Members of the Public: None  
Applicants: D. Hais (APM)

**Regrets**

Amy Needham, Parks Operations Liaison  
Chris Washington, S.D.70 Liaison  
Peter Dionne, R.C.M.P. Liaison

**Alternates (not in attendance)**

Larry Ransom (Alt.- S.D.70)  
Councillor Helen Poon (Alt.- Council)  
L. Sam, (Alt. - Tseshah (č išaa?ath) F.N)  
Roger Nopper CEO, (Alt. - Hupačasath F.N.)



**1. Acknowledgements and Introductions –**

- Acknowledgement, by the Chair, that this APC meeting is being held within the un-ceded, traditional territories of the Hupačasath and the Tseshah (č išaa?ath) First Nations.
- Welcome and introductions.

**2. Minutes - Adoption of October 12, 2021 Minutes**

**Motion:**

*That the City of Port Alberni Advisory Planning Commission adopt the minutes of the October 21, 2021 regular meeting.*

**( Anaka / Francoeur ) CARRIED**

**3. DEVELOPMENT APPLICATION – Development Variance Permit**

**3170 1<sup>st</sup> Avenue (Alberni Power and Marine)**

*Lot A, District Lot 1, Alberni District Plan VIP86551*

*Lot 1, Block 104, District Lot 1, Alberni District, Plan 197D*

*Lot 2, Block 104, District Lot 1, Alberni District, Plan 197D*

*Lot 7, Block 104, District Lot 1, Alberni District, Plan 197D*

*Lot 8, Block 104, District Lot 1, Alberni District, Plan 197D*

**Applicant:** D. Hais for owners R. Zilliken and S. Zilliken dba 0963231 BC Ltd.

- City Development Planner (B.M.) summarized his report dated November 2, 2021. He noted that the Variance for height had been amended since the report to APC was completed. The amended Variance requested provides for an increase to the permitted maximum height of a principal building from 10 metres to 12.9 metres, an increase/variance of 2.9 metres for the site.
- APC discussed the proposed amendments and report.
  - The APC members indicated support for the requested Variances as amended.
  - It was noted that the provision of on-site parking for employees was important especially as future growth and development would further test parking capacity in core business areas.

**Motions:**

1. *THAT the Advisory Planning Commission recommends to City Council they approve the Development Variance Permit requested for 3170 1st Avenue to:*
  - a) *Vary section 7.9 Required Amount of Parking to permit a reduction from 43 spaces to 33 spaces for a total reduction of 10 spaces.*
  - b) *Vary section 5.20.2 Site Development Regulations to permit an increase to the maximum height of a principal building from 10 metres to 12.9 metres for an increase of 2.9 metres.*

( Anaka / Francoeur ) CARRIED

**4. DEVELOPMENT APPLICATION – Development Variance Permit**  
**5535 Woodland Crescent East**  
*Lot 40, Section 9, Alberni District, Plan VIP62208 (PID:023-235-748)*  
**Applicant:** Carey Conover dba Dycon Construction Ltd.

- City Development Planner (P.L.) summarized his report dated November 18, 2021.
- APC discussed the proposed amendments and report.
  - Potential impact for adjacent single family homes. Footpath on the west side of the property would mitigate the impact for the adjacent house to the west.
  - APC asked if access from Georgia Road was considered. The City Planner indicated access to the site off Georgia Rd. was not encouraged or supported at this time for a variety of reasons.
  - The challenges of developing the site for multi-family residential use required a creative approach to the design.
  - The requested Variances would accommodate the required fire separations.

**Motions:**

1. *THAT the Advisory Planning Commission recommends to City Council that they approve the Development Variance Permit requested for property legally described as Lot 40, Section 9, Alberni District, Plan VIP62208 (PID:023-235-748) and located at 5535 Woodland Crescent as follows:*

- a) *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required frontage from 30 metres to 27.192 metres, a variance of 2.8 metres.*
- b) *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required rear yard setback from 9 metres to 7.5 metres, a variance of 1.5 metres.*

**( Francoeur / Weber ) CARRIED**

**5. STATUS UPDATE:**

The Director of Development Services updated the APC with respect to the following:

- OCP Project – The consultants (McElhanney Ltd) and City Staff sent out an invitation to APC to meet and discuss the project on November 25/21 at 2:30 pm. It will not be the only opportunity available for the APC members to provide their perspectives for consideration
- Vimy Street – The bylaws will go to Council once the approved subdivision has been registered by Land Titles.
- Projects that have been approved by Council but have not yet submitted applications for a Building Permit include Quality Foods (Cascadia Liquor) and the 4305 Kendall Avenue (Oomiqusu / Mother's Centre).

**6. OTHER BUSINESS**

7. **ADJOURNMENT** – The meeting adjourned at 1:00 pm. The next meeting is scheduled for 12:00 pm on **December 16, 2021.**

**( McRae / Francoeur ) CARRIED**

Ken McRae (Chair)



APC-SummaryMinutes-Nov18-2021.docx



## CITY OF PORT ALBERNI

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### PLANNING DEPARTMENT REPORT TO THE ADVISORY PLANNING COMMISSION

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TO: Advisory Planning Commission

FROM: Price Leurebourg, Development Planner

DATE: November 18, 2021

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**SUBJECT: DEVELOPMENT APPLICATION – Proposed Development Variance Permit**

**5535 Woodland Crescent**

LOT 40, SECTION 9, ALBERNI DISTRICT PLAN VIP62208

**Applicant:** Dycon Construction Ltd.

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#### **RECOMMENDATIONS**

1. *That the Advisory Planning Commission recommends to City Council that they approve the Development Variance Permit requested for property legally described as Lot 40, Section 9, Alberni District, Plan VIP62208 (PID:023-235-748) and located at **5535 Woodland Crescent** as follows:*
  - a) *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required frontage from 30 metres to 27.192 metres, a variance of 2.8 metres.*
  - b) *Vary section 5.14.2 Site Development Regulations to permit a reduction of the required rear yard setback from 9 metres to 7.5 metres, a variance of 1.5 metres.*

#### **ALTERNATIVES/OPTIONS**

The Planning Department supports Option #1.

1. Recommend to Council that staff proceed with the requested variances.
2. Recommend to Council that staff do not proceed with the requested variance.
3. Request that staff gather additional information before proceeding with a recommendation for Council to consider.

## **ISSUE**

For consideration is a variance application for a multi-family residential development. The subject property is located at 5535 Woodland Crescent. The applicant is proposing to construct 11 three-bedroom units on the site.

## **BACKGROUND**

The City of Port Alberni has received a development application for 5535 Woodland Crescent requesting a development permit and development variance permit. The issuance of the development permit would facilitate a multi-family residential development. The applicant proposes to develop 4 two-storey buildings, accommodating 11 three-bedroom dwelling units. The two-storey units will be arranged as three triplex structures and one duplex.

The subject property is zoned RM1 Low Density Multiple Family Residential and located within the Multi-family Residential Development Permit Area No. 1.

The applicant seeks the issuance of a development variance permit to reduce the required frontage and rear yard setback under Section 5.14.2 of "Port Alberni Zoning Bylaw 2014, Bylaw No. 4832". The proposal reduces the frontage from 30.0 metres to 27.192 metres (9% variance) and the required rear yard setback from 9 metres to 7.5 metres (17% variance). The reduced frontage is a result of the existing conditions of the corner lot of this subdivision, while the rear yard was compressed in order to meet the requirements for fire separation between buildings.

## **ANALYSIS**

### **Zoning**

The subject property is currently zoned RM1 – *Low Density Multiple Family Residential*. No rezoning is required to accommodate the proposed development.

### **Site Plan**

The applicant has submitted a full development proposal as part of their application (attached). The duplex is proposed to be located at the entrance of the site to the southwest of the lot. The duplex building dimensions are approximately 10.97 metres in length, 13.41 metres in width, and 10 metres in height. Two triplex buildings are proposed to be located along the north property line, with a third in the southeast corner of the lot. The triplex building dimensions are approximately 10.97 metres in length, 20.12 metres in width, and 10 metres in height.

A parking space is provided in front of each unit, with an additional 3 parking stalls for guests on-site.

<b>5.14.2 RM1 Site Development Regulations</b>				
	<b>Required</b>		<b>Proposed</b>	
<i>Minimum Lot area</i>	1000 m <sup>2</sup>	(10,764 ft <sup>2</sup> )	2636.53 m <sup>2</sup>	(28,379 ft <sup>2</sup> )
<i>Minimum Frontage</i>	30 m	(98.4 ft)	27.192 m	(89.21 ft)



Maximum Coverage	40%		22%	
Minimum Setbacks				
Front yard	7.5 m	(24.6 ft)	7.5 m	(24.6 ft)
Rear yard	9 m	(29.5 ft)	7.5 m	(24.6 ft)
Side yard	1.5 m	(4.9 ft)	1.5 m	(4.9 ft)
Side yard	1.5 m	(4.9 ft)	1.5 m	(4.9 ft)
Max Floor Area Ratio	0.5		0.39	
Maximum Height, Principal Building	10 m	(32.8 ft)	8.23 m	(27 ft)
Maximum Number of Principal Building Storeys	2.5		2	

5.14.3 Useable Open Space				
	Required		Proposed	
Useable open space				
• 45 m <sup>2</sup> per dwelling unit	495 m <sup>2</sup>	(5,328.14 ft <sup>2</sup> )	580 m <sup>2</sup>	(6,243.07 ft <sup>2</sup> )

Table # - 7.9 Required Amount of Parking		
	Required	Proposed
Multi Family Townhouses	14	14
• 1.25 stalls per dwelling unit		

A review of the proposed development confirms that it will meet most of the requirements of the Zoning Bylaw including parking, and the *Site Development Regulations* of the RM1 – Low Density Multiple Family Residential Zone.

### **IMPLICATIONS**

The proposal for 5535 Woodland Crescent is being brought forward to the Advisory Planning Commission for review, and the APC will provide Council with a recommendation on how to proceed with the application. In considering the requested variance application, the Advisory Planning Commission and City Council should consider whether the two variances are reasonable and appropriate for the site and for the community. The APC's recommendation on the proposal will be included in a future Council report to assist in their decision on the matter. Public notices will be sent out to neighboring residents, outlining the process to provide input on the application.

Staff have identified the following rationale in support of the requested variances:

#### *Reduced Frontage*

- The existing site boundaries make compliance with this requirement unachievable.
- The applicant has worked to address concerns regarding access to the site and ensure the front yard setback complies with municipal requirements.

- No negative impacts are anticipated as a result of the reduced frontage.

*Reduced Rear Yard Setback*

- The reduction to the rear yard setback was proposed to account for the fire separation distance required between the buildings.
- No negative impacts are anticipated as a result of the setback reduction.

**CONCLUSIONS**

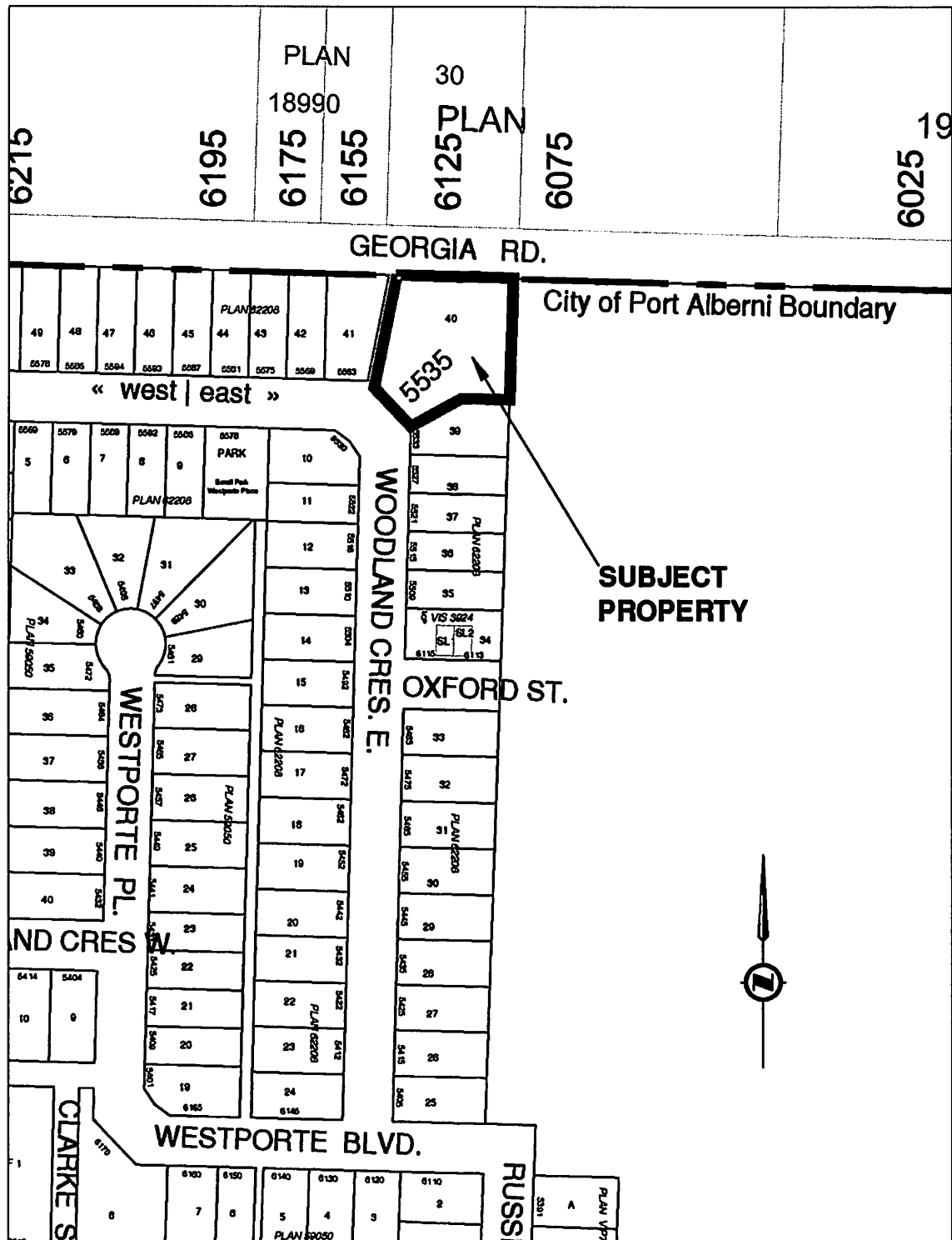
The issue for consideration is a variance application requesting relief from frontage and rear yard setback requirements of the Zoning Bylaw. The variance request is associated with a Development Permit application received for 5535 Woodland Crescent, wherein the owners are proposing to build 11 three-bedroom units on the property. Staff have reviewed the application and are satisfied that the requested variances to the Zoning Bylaw are not likely to have a negative impact on the surrounding neighbourhood. The planning department supports approval and issuance of the Development Variance Permit.

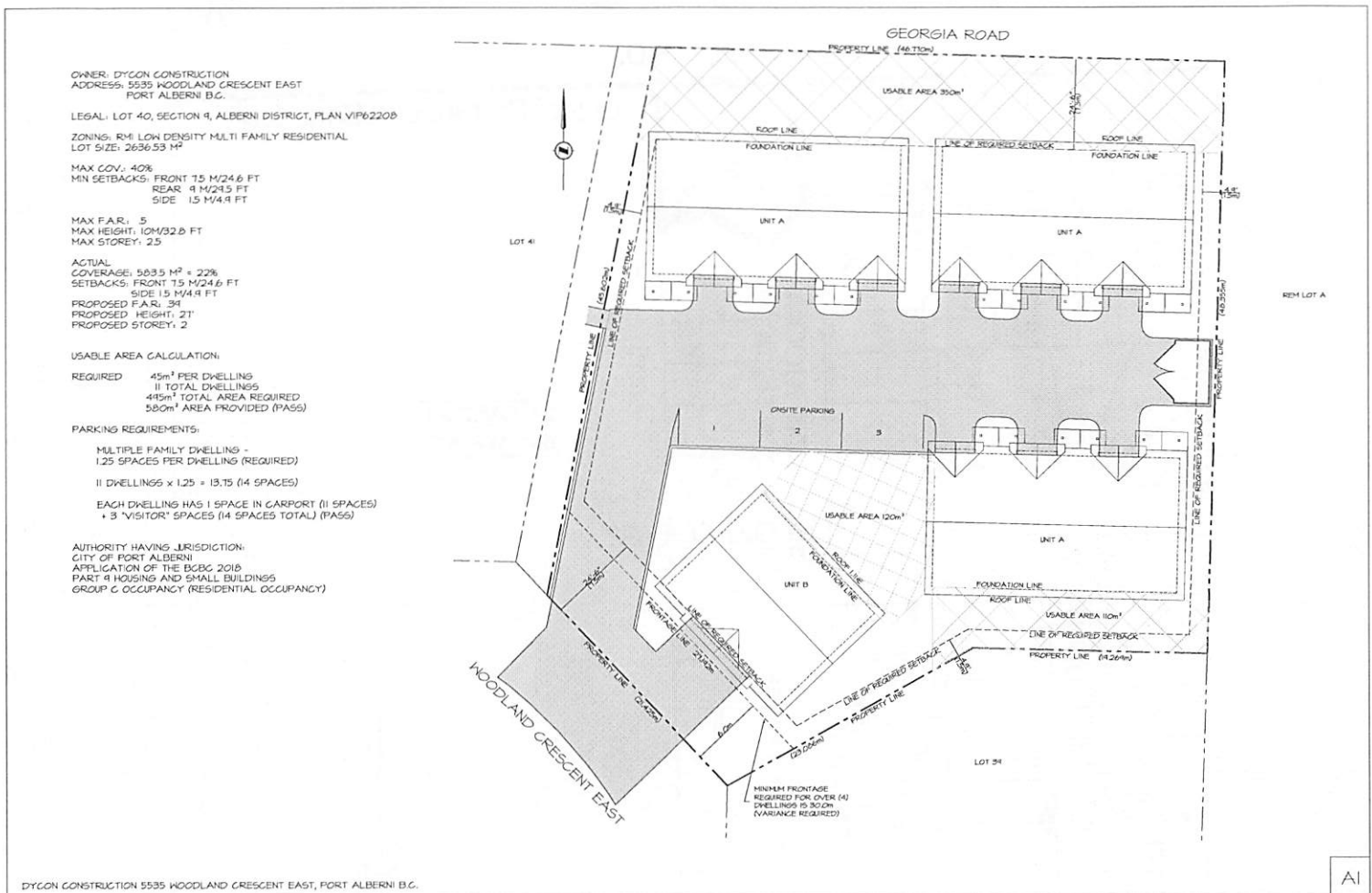
Respectfully submitted,

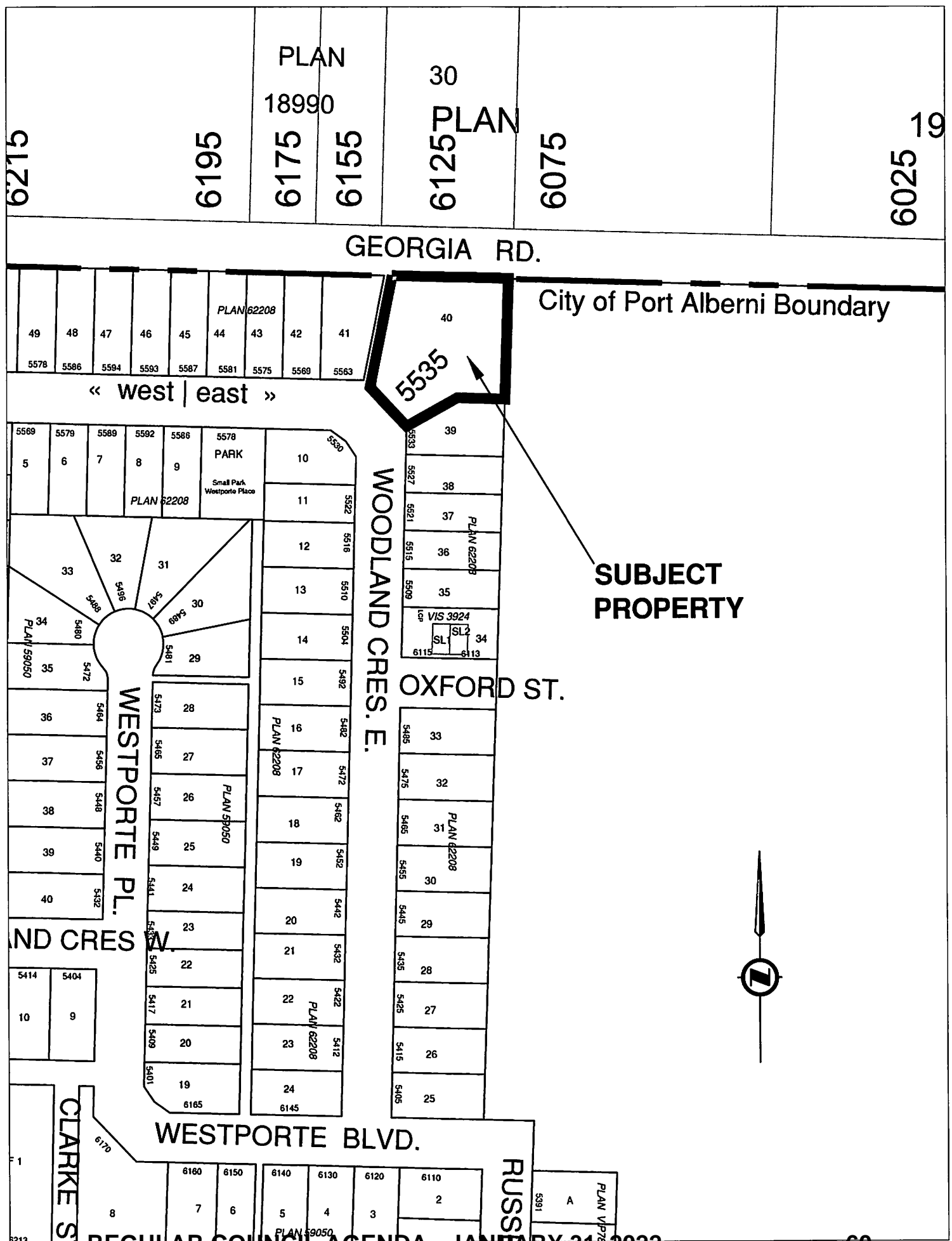


Price Leurebourg

**SUBJECT PROPERTY – 5535 WOODLAND CRESCENT**

























Date: January 24, 2022  
File No: 3060-20-DP21-10  
To: Mayor & Council  
From: Scott Smith, Acting CAO | Director of Development Services  
Subject: **DEVELOPMENT APPLICATION – Development Permit No. 21-10**  
Lot C, District Lot 46, Alberni District, Plan EPP109360 (PID: 031-609-155)  
**3553 Anderson Avenue**  
Applicant: Hemant Chauhan dba Broadstreet Properties Ltd.

Prepared by:  B. McLoughlin Development Planner	Supervisor: <b>S. Smith</b> S. Smith, Acting CAO   Dir. of Development Services	A   CAO Concurrence:  S. Smith, Acting CAO
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#### RECOMMENDATION[S]

*That Council authorize the issuance of Development Permit No. 21-10, and that the Director of Corporate Services be authorized to sign the permit including the development plans as shown on Schedule 'B', prepared by Seymour Pacific Developments Ltd. issued for '3553 Anderson Ave' and dated July 2, 2021 subject to the City of Port Alberni receiving the required landscaping security in the amount of \$184,582.87.*

#### PURPOSE

To consider a Development Permit application for Phase 2 of the Port View Landing multifamily residential development at 3553 Anderson Avenue.

#### BACKGROUND

The subject property is zoned RM3 – High Density Multiple Family Residential, and is within the Multiple Family Development Permit Area (DPA) that regulates the form and character of multifamily development. The subject property (3553 Anderson Avenue) has recently received subdivision approval as the next phase of development on the former Alberni District Secondary site. The mother parcel (4000 Burde Street) was rezoned in 2019. Phase 1 of the Portview Landing development was completed in 2020, and consisted of two apartment buildings with a total of 141 dwelling units. The current application will be Phase 2 of the Portview Landing and will provide an additional 93 dwelling units. Broadstreet Properties Ltd. specializes in the construction of rental housing.

#### ALTERNATIVES/OPTIONS

- Option 1 – Proceed with issuing Development Permit No. 21-10.
- Option 2 – Do not proceed with issuing the Development Permit, and request further revisions from the applicant.
- Option 3 – Provide alternative direction.



## ANALYSIS

Staff have reviewed the proposal in terms of how it meets the Multiple Family Development Permit Area Guidelines of the OCP, and the requirements of the Zoning Bylaw. In general, the layout and character of the development is typical of high-quality residential development.

The subject property is 3.9 acres, and is situated between Portview Landing Phase 1 to the north, and the future Vancouver Resource Society seniors housing development to the south. To the east of the subject property is the District Group townhouse development. This application proposes to add a significant number of multifamily dwelling units while remaining consistent with the City's Zoning Bylaw and Official Community Plan. All new residential dwelling units will be operated as rental housing.

The apartment building is situated towards the rear of the site, while the two-storey townhouses are located in the western portion of the property adjacent to Anderson Avenue. The townhouses match the low profile of existing houses along Anderson Avenue, while the apartment abuts an upward slope. The following tables summarize the development and key points of analysis:

<b>Table 1 - Proposed Buildings</b>			
<i>Type</i>	<i># of Buildings</i>	<i>Dwelling Units</i>	<i>Storeys</i>
Apartment Building	1	63	4
Townhouse Buildings	6	30	2

<b>Table 2 - Dwelling Units and Number of Rooms</b>				
<i>Total Units</i>	<i>One bed</i>	<i>Two bed</i>	<i>Three bed</i>	<i>Accessible Units</i>
93	9	46	38	0

<b>Site</b>	<ul style="list-style-type: none"> <li>• Total area of the lot is 38,941.24 m<sup>2</sup> (3.9 acres).</li> <li>• All site development regulations are met.</li> <li>• Lot coverage is 15%. Below the 50% permitted in RM3 zone.</li> <li>• All required parking will be provided on-site.</li> <li>• All required useable open space will be provided on-site.</li> <li>• Total of 93 dwelling units on property.</li> </ul>
<b>Buildings</b>	<ul style="list-style-type: none"> <li>• One four-storey apartment building with 63 dwelling units.</li> <li>• Six two-storey townhouse buildings with 30 dwelling units total.</li> <li>• Floor Area Ratio, or density target, of 0.67 which is well below the RM3 zone maximum of 1.2.</li> <li>• Apartment building will be 12.8 m in height – well below the 14 m permitted by the RM3 zone.</li> <li>• Buildings will be sided with high-quality cement fiber panel, and cement fiber lap siding.</li> </ul>

<b>Landscape</b>	<ul style="list-style-type: none"><li>• Trees ensure that the property is screened from development on adjacent lots.</li><li>• A mix of trees, shrubs, and plants will enhance the site and provide screening within the property.</li><li>• Accessible, outdoor, common space is provided behind the apartment building (0.7 acres). Includes a grass area, community garden, seating, and a dog run.</li><li>• Parking areas are heavily landscaped with trees and shrubs which creates a more livable environment for residents given the density of development.</li></ul>
<b>Access</b>	<ul style="list-style-type: none"><li>• All vehicles will enter and exit the site from Anderson Avenue</li><li>• Aisle widths meet the requirements of the Zoning Bylaw.</li></ul>

The applicant has submitted an estimate for soft landscaping totalling \$184,582.87. If Council approves this development application, the applicant will be required to submit a Landscape Security in the amount of the estimate prior to the Director of Corporate Services signing the Permit.

#### IMPLICATIONS

Issuing Development Permit No. 21-10 will enable the construction of a high-density multifamily residential development. It will consist of one apartment building and multiple townhouses for a total of 93 dwelling units. The applicant has submitted a high-quality design that is compatible with surrounding multifamily developments, and all required parking will be provided on-site. The two storey townhouses proposed along Anderson Avenue are also compatible with the existing one and two storey homes in the area. While this application proposes a density of residential development not often seen in Port Alberni, it meets the requirements of the Zoning Bylaw, and aligns with the policies of Official Community Plan. This development will provide a significant number of new rental units, which may help alleviate the low vacancy rate identified by the City's recent Housing Needs Assessment.

#### COMMUNICATIONS

N/A

#### BYLAWS/PLANS/POLICIES

##### **1. Official Community Plan Policy – Development Permit Areas (Section E – Implementation – 1.0)**

Part 14, Division 7, of the *Local Government Act* outlines a local government's general authority to regulate land use through Development Permits, and to designate Development Permit Areas (DPA). The City's OCP designates *Development Permit Area No. 1 – Multiple Family Development*.

The OCP states that the intent of this permit area is to ensure development fits appropriately with surrounding neighbourhoods, and maximizes liveability for residents. This is implemented by the City through Design Guidelines in the OCP that provide direction on siting, massing, and form, that apply to buildings as well as landscaping, parking, and common areas. Staff have reviewed the proposed development, and are satisfied it meets the intent of the multi-family Development Permit Area Guidelines in the OCP.

**2. Zoning Bylaw 2014 4832:**

The proposed development has been reviewed for compliance with Zoning Bylaw. The subject property is zoned *RM3*, and the purpose of this zone is to provide for high-density residential development. Accordingly, the placement of buildings, site access, and landscaping are intended to reflect this use. This includes mitigating potential impacts of development on adjacent properties. The building and site meet the requirements of the *RM3 – High Density Multiple Family Residential* zone, including the *Site Development Regulations* pertaining to building height, density and lot coverage. Additionally, all required parking will be provided on-site, along with all required useable open space. The following subsections detail how the proposal meets these requirements.

**Parking**

The proposed development will provide more on-site parking than is required by the Zoning Bylaw. *Section 7.9 Required Amount of Parking*, requires that parking for *Multiple Family Dwellings* be provided at 1.25 spaces per dwelling.

Table 3 - 7.9 Required Amount of Parking		
	Required	Proposed
Multiple Family Dwellings	117	138

**Useable Open Space**

The applicant has provided more than the required amount of Useable Open Space in the form of patios, balconies, and lawn areas to the rear of the apartment building. The applicant has designed this area to have accessible ramp access, and it will be available to all residents of the development.

Table 4 - Section 5.16.3(a) Conditions of Use - Useable Open Space		
Rate	Required	Proposed
18 m <sup>2</sup> per 2-bed dwelling or less 45 m <sup>2</sup> per 3 bed dwelling	2,700 m <sup>2</sup>	3,014 m <sup>2</sup> (0.75 acres)

**SUMMARY**

The City has received an application for a Development Permit at 3553 Anderson Avenue. Issuing the permit will enable the applicant to proceed with a high-density multifamily residential development consisting of one four-storey apartment building, and 6 two-storey townhouse buildings. The proposed development will create 93 rental dwelling units. Staff have reviewed the design, and are satisfied it meets the intent of the Development Permit Area guidelines in the Official Community Plan. The proposal also meets the requirements of the Zoning Bylaw.

The Planning Department supports the issuance of Development Permit No. 21-10 with the conditions outlined in the attached Development Permit.

---

## ATTACHMENTS/REFERENCE MATERIALS

### 1. Development Permit 21-10

- Schedule A – Subject Property Map
- Schedule B – Drawings
  - a) *Seymour Pacific Developments Ltd. – A0.0 Site & Vicinity Map*
  - b) *Seymour Pacific Developments Ltd. – A1 Site Plan*
  - c) *Seymour Pacific Developments Ltd. – A1.1 Site Accessories #1*
  - d) *Seymour Pacific Developments Ltd. – A1.2 Site Accessories #2*
  - e) *Seymour Pacific Developments Ltd. – A1.3 Shed Roof Pergola*
  - f) *Seymour Pacific Developments Ltd. – A1.4 Topographic Site Plan & Pedestrian Connectivity*
  - g) *Seymour Pacific Developments Ltd. – A2.2 Building A First Floor Plan*
  - h) *Seymour Pacific Developments Ltd. – A2.3 Building A Second and Third Floor Plan*
  - i) *Seymour Pacific Developments Ltd. – A2.4 Building A Fourth Floor & Roof Plan*
  - j) *Seymour Pacific Developments Ltd. – A2.6 4 Plex main building E/F/G*
  - k) *Seymour Pacific Developments Ltd. – A2.7 4 Plex upper floor & roof plan E/F/G*
  - l) *Seymour Pacific Developments Ltd. – A2.9 6 Plex main floor building B/C/D*
  - m) *Seymour Pacific Developments Ltd. – A2.10 6 Plex upper floor building B/C/D*
  - n) *Seymour Pacific Developments Ltd. – A2.11 6-Plex roof plan Building B/C/D*
  - o) *Seymour Pacific Developments Ltd. – A3.0 Building A Elevations*
  - p) *Seymour Pacific Developments Ltd. – A3.1 Colour – Building A Elevations*
  - q) *Seymour Pacific Developments Ltd. – A3.2 4 Plex – Elevations – Building E/F/G*
  - r) *Seymour Pacific Developments Ltd. – A3.3 4 Plex – Color Elevation – BUILDING E/F/G*
  - s) *Seymour Pacific Developments Ltd. – A3.4 Bldg Elevations – Building B/C/D*
  - t) *Seymour Pacific Developments Ltd. – A3.5 Colour Elevations – Building B/C/D*
  - u) *Outland Design Landscape Architecture – L1 Layout Plan*
  - v) *Outland Design Landscape Architecture – L2 Planting Plan*

C: *T. Slonski, Director of Corporate Services*  
*A. McGifford, Director of Finance*  
*R. Gaudreault, Building/Plumbing Inspector*

**CITY OF PORT ALBERNI**  
**DEVELOPMENT PERMIT NO. 21 - 10**

---

**Development Permit Issued to:**            **Broadstreet Properties Ltd.**  
   **100 St. Ann's Road Campbell River, BC V9W 4C4**

The land affected by this permit is shown on Schedule A attached hereto and forming part of this Permit and is legally described as the whole or/a portion of:

Lot C, District Lot 46, Alberni District, Plan EPP109360 (PID: 031-609-155)  
located at  
**3553 Anderson Ave.**

**CONDITIONS OF PERMIT**

1. Development of the land to be undertaken shall be limited to the area shown on Schedule A.
2. Development of the land to be undertaken shall be in accordance with the development plans shown on Schedule B attached hereto and forming part of Development Permit No. 21-10.
3. An Irrevocable Letter of Credit or other security is required in the amount of \$184,582.87 for landscaping.
4. The owner of the land shall provide the general contractor and all professionals associated with the development with copies of this permit.
5. The owner of the land shall maintain any undeveloped land in a neat and tidy condition at all times.
6. If there has not been any substantial commencement of construction with respect to which the permit was issued within two years after the date it was issued, the permit lapses.

The City of Port Alberni shall file notice of this permit in the Land Title Office stating the land is subject to Development Permit No. 21-10.

In accordance with the provisions of Section 489 of the *Local Government Act RSBC 2015*, approval of this Permit was granted by resolution of the City Council on \_\_\_\_\_.

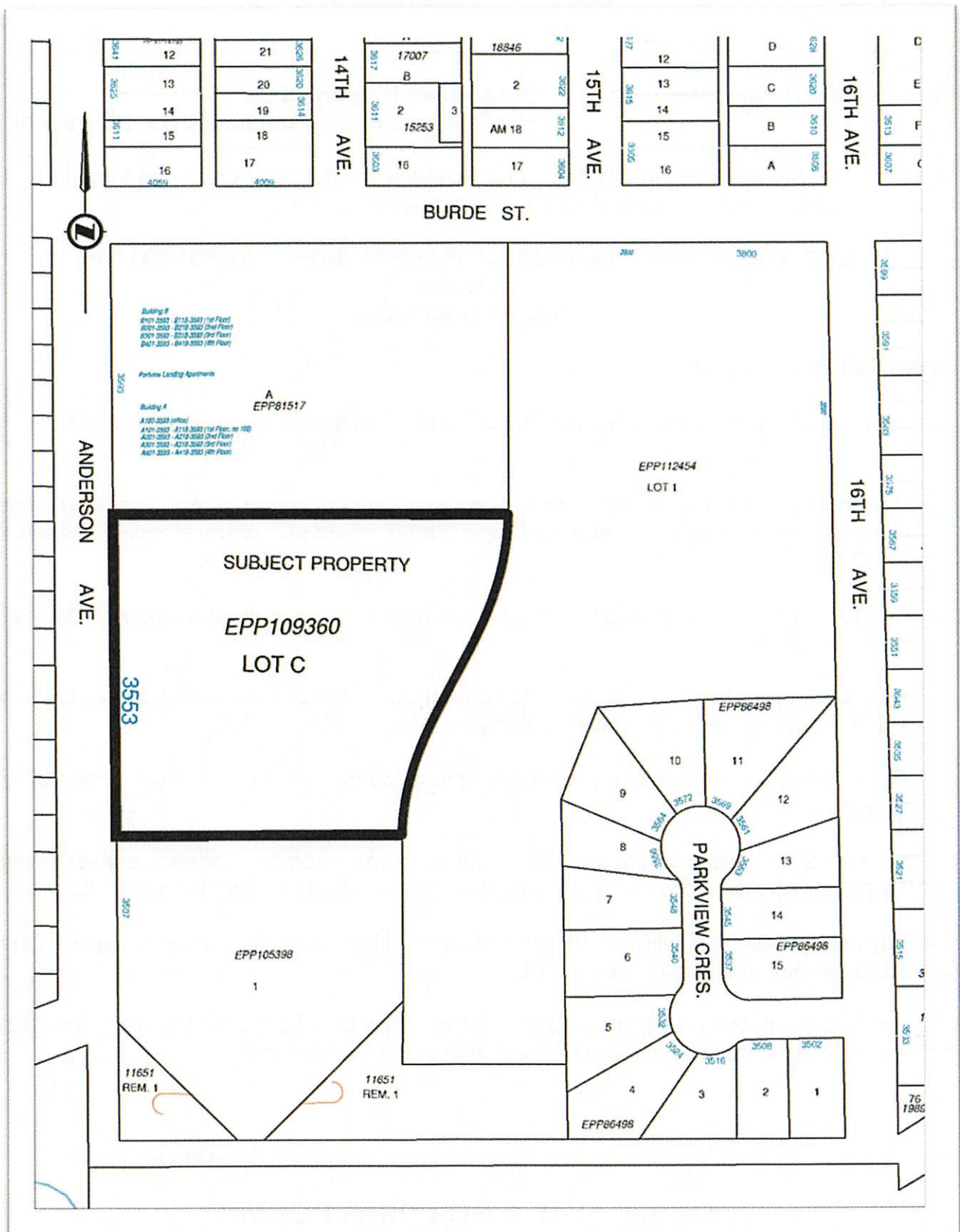
\_\_\_\_\_  
Date

\_\_\_\_\_  
Corporate Officer

**THIS IS NOT A BUILDING PERMIT**



## REGULAR COUNCIL AGENDA - JANUARY 31, 2022



**SCHEDULE B  
TO DEVELOPMENT PERMIT 21-10**

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## PROJECT DATA

PROJECT INFORMATION	PROJECT DESCRIPTION THIS PROJECT CONSISTS OF ONE-MULTI-FAMILY RESIDENTIAL BUILDINGS AND 30 TOWNHOUSES						
	BUILDING CODE THE APPLICABLE BUILDING CODE IS THE BCBC 2018 INCLUDING ALL ADDENDA						
	PROJECT DATA						
	MUNICIPAL ADDRESS	4000 BURDE STREET					
	LEGAL DESCRIPTION	Lot 1 District Lot 48 Alberni District Plan 11651, Except Plans EPP06498 and EPP061517					
	ZONING	PERMITTED				NOTES	
		RM3					
	MUNICIPALITY	PORT ALBERNI, BC					
	LOT AREA (SF)	169941.24 (3.95 ACRES / 1.57 HA)					
	DENSITY	93 UNITS / 3.95 Ac = 23.97 DU/ACRES					
EASEMENT	EXISTING - 6.0 m SOUTH SIDE						
LOT COVERAGE	PERMITTED				PROPOSED		
%	50 %				15 %		
(SF)	84,470.62				25,445		
BUILDING SETBACKS	REQUIRED	FRONT				REAR	SIDE
	PROPOSED	19' - 6 1/4" (5.0m)				29' - 6 3/8" (8.3m)	10' - 4 1/8" (5.0m)
		19' - 6 1/4" (5.0m)				29' - 6 3/8" (8.3m)	10' - 4 1/8" (5.0m)
BUILDING HEIGHT	PERMITTED				PROPOSED		
	45.9' (14.0m)				42.5' (12.9m)		
FLOOR AREA RATIO	PERMITTED				PROPOSED		
	1.2				0.67		
(SF)	202,720.5 (18,834.19 m <sup>2</sup> )				112,595.1 (10,460.49 m <sup>2</sup> )		
					DECOR NOT INCLUDED		
UNIT BREAKDOWN	UNITS	TYPE	NUMBER	(SF)	(SF) TOTAL		
	A1	2 BED / 2 BATH	7	871	6,797		
	A2/A4	2 BED / 2 BATH	24	967	23,608		
	D1	2 BED / 2 BATH	2	862	1,604		
	D2/D3/D4	2 BED / 2 BATH	6	969	5,814		
	E1	3 BED / 2 BATH	2	1,054	2,108		
	E2/E3/E4	3 BED / 2 BATH	6	1,075	6,420		
	F1	1 BED / 1 BATH	2	652	1,304		
	F2/F3/F4	1 BED / 1 BATH	6	658	3,948		
	K1	1 BED / 1 BATH	1	659	659		
	C1	2 BED / 1 BATH	1	894	894		
	C2/C3/C4	2 BED / 1 BATH	3	913	2,739		
	H2/H3/H4	2 BED / 2 BATH	3	912	2,736		
	TOWNHOUSE	UNIT	30	1,424	44,820		
	TOTAL		93		103,862		
PARKING	PROPOSED PARKING	STANDARD CAR	70	80	-		
		SMALL CAR	5	-	4		
		ACCESSIBLE	3	-	-		
		TOTAL	78	80		138 STALLS	
	REQUIRED PARKING	REQUIRED					
	1.25 PER DU	APARTMENTS	79				
		TOWNHOUSES	38				
		TOTAL	117 STALLS				
		SMALL CARS 20%	23				
		ACCESSIBLE	3				
AMENITY	BIKE STORAGE	PROVIDED				REQUIRED	
	1 SPACE PER UNIT	SHORT TERM	32				
		LONG TERM	-				
		TOTAL	32				
	REQUIRED OPEN SPACE	REQUIRED	2,709 m <sup>2</sup> + 29,062.58 sq ft		PROVIDED	3,014.43 m <sup>2</sup> + 32,447.22 sq ft	
		18 m <sup>2</sup> / 1 BEDROOM UNIT	18 m <sup>2</sup> x 9 + 102 m <sup>2</sup>		28,847.22 m <sup>2</sup> + 2,679.99 m <sup>2</sup>		
		18 m <sup>2</sup> / 2 BEDROOM UNIT	18 m <sup>2</sup> x 46 + 828 m <sup>2</sup>		DECKS		
		45 m <sup>2</sup> / 3 BEDROOM UNIT	45 m <sup>2</sup> x 38 + 1,710 m <sup>2</sup>		3,603.81 m <sup>2</sup> + 394.43 m <sup>2</sup>		

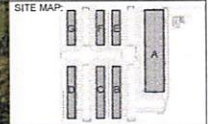
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Sheet Number	Sheet Name
A0.0	SITE CALC & VICINITY MAP
A1.0	SITE PLAN
A1.1	SITE ACCESSORIES 1 OF 2
A1.2	SITE ACCESSORIES 2 OF 2
A1.3	SHED ROOF PERGOLA
A1.4	TOPOGRAPHIC SITE PLAN & PEDESTRIAN CONNECTIVITY
A2.2	BUILDING A FIRST FLOOR PLAN
A2.3	BUILDING A SECOND AND THIRD FLOOR PLAN
A2.4	BUILDING A FOURTH FLOOR & ROOF PLAN
A2.6	4 PLEX - MAIN FLOOR - BUILDING E/F/G
A2.7	4 PLEX - UPPER FLOOR & ROOF PLAN - BUILDING E/F/G
A2.9	6 PLEX - MAIN FLOOR - BUILDING B/C/D
A2.10	6 PLEX - UPPER FLOOR - BUILDING B/C/D
A2.11	6 PLEX - ROOF PLAN - BUILDING B/C/D
A3.0	BUILDING A ELEVATIONS
A3.1	COLOUR - BUILDING A ELEVATIONS
A3.2	4 PLEX - ELEVATIONS - BUILDING E/F/G
A3.3	4 PLEX - COLOUR ELEVATIONS - BUILDING E/F/G
A3.4	6 PLEX - BLDG ELEVATIONS - BUILDING B/C/D
A3.5	6 PLEX - COLOUR ELEVATIONS - BUILDING B/C/D

## VICINITY MAP



\*VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION\*

**SEYMOUR PACIFIC DEVELOPMENTS LTD.**  
100 St Anns Street, Campbell River, B.C.  
(725) 250.8045 (F) 250.286.8046  
www.seymourpacific.ca



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/02/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: ABEL ARCHITECTURE  
DESIGN & BUILD PROJECTS INC. 100-1000

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD. WITHOUT DELAY. FOR CLARIFICATION AND/OR CORRECTION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

CONTRACTORS SHALL REMAIN FAMILIAR WITH ALL REFER TO: AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD INDUSTRY BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION. CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MEET SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

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4000 BURDE STREET  
PORT ALBERNI, BC

DRAWING TITLE:  
SITE CALC & VICINITY MAP

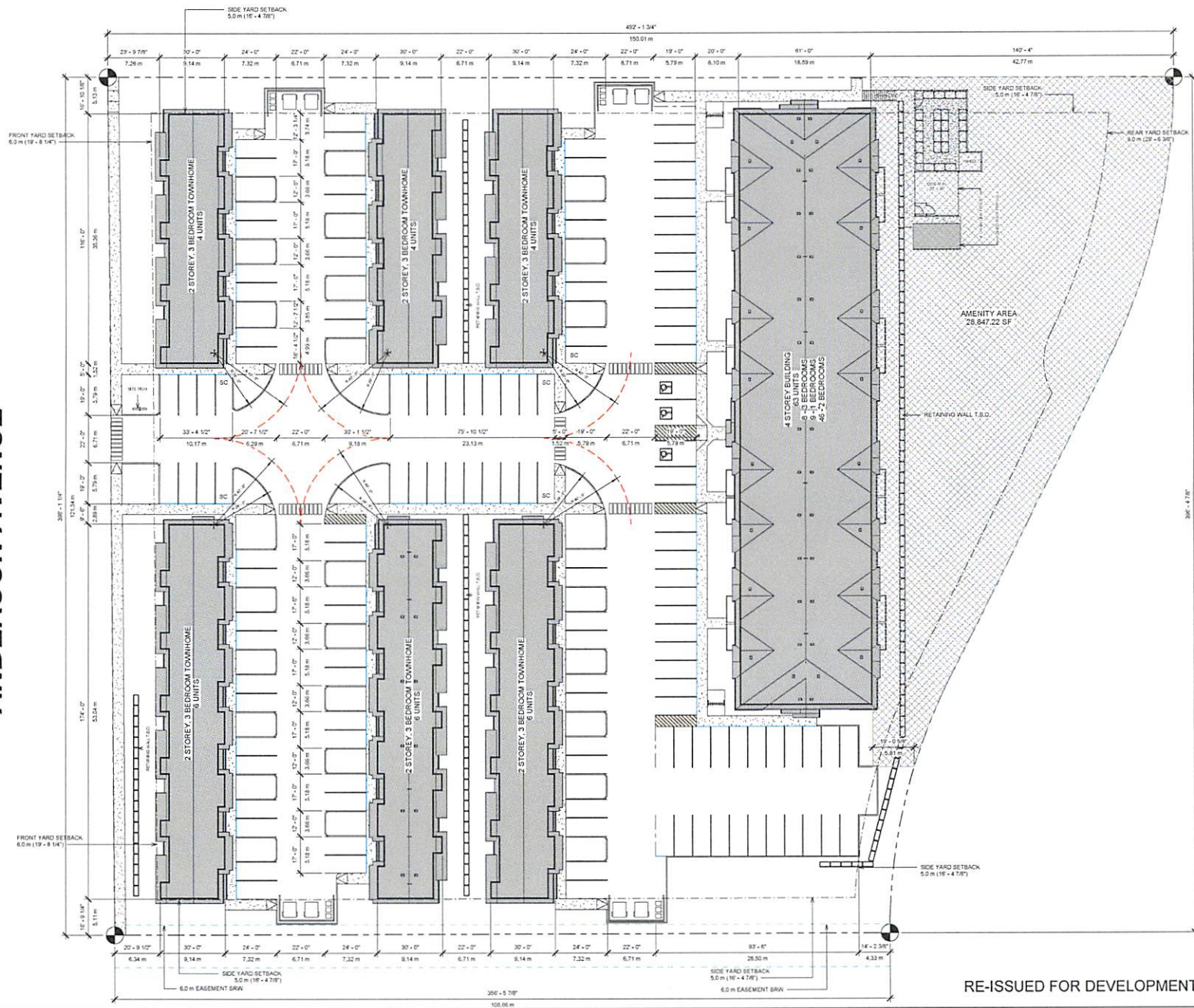
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REV # B

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# ANDERSON AVENUE



**SEYMOUR PACIFIC DEVELOPMENTS LTD.**  
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**PROJECT NORTH**

**TRUE NORTH**

**SITE MAP:**

**PROJECT STATUS:**  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	RESUB FOR D.P.	04/20/2021
B	RE-APPROVED FOR D.P.	07/02/2021

**SEAL:** ABELARCHITECTURE  
INCORPORATED, PROJECT NO. T-1000000

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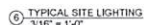
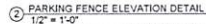
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PORTVIEW LANDING - PHASE II

**PROJECT NUMBER:**  
2104

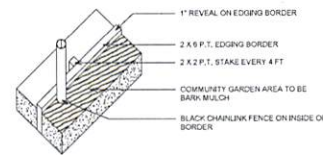
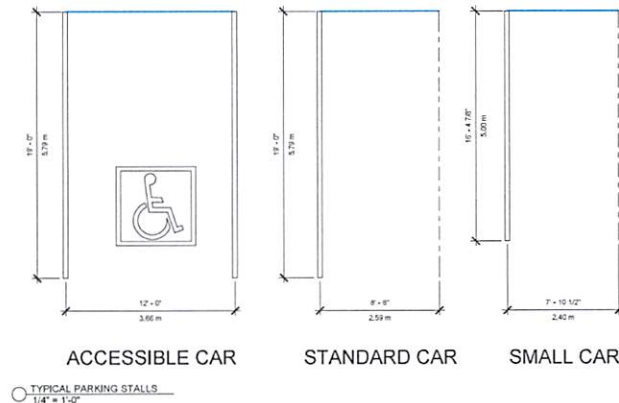
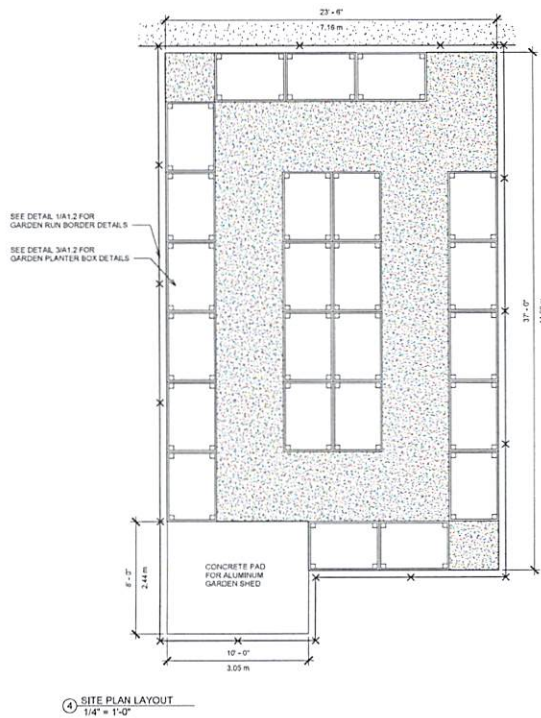
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4000 BURDE STREET  
PORT ALBERNI, BC

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SITE PLAN

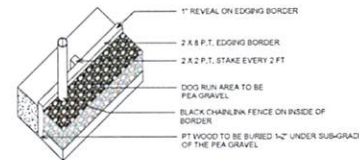
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**CHECKED BY:** JGS  
**DATE:** 07/02/2021  
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**DRAWING #:** A1.0  
**REV #:** B



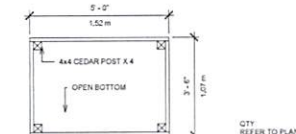
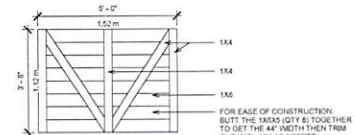




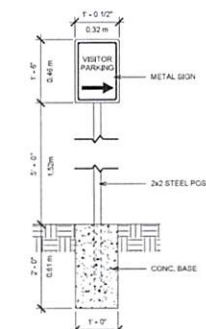
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1" = 1'-0"



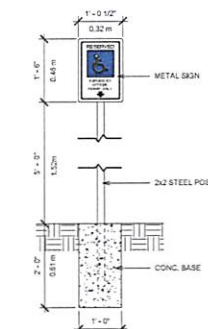
2 DOG RUN BORDER  
1" = 1'-0"



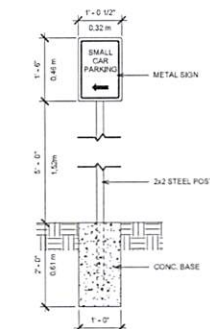
3 COMMUNITY GARDEN PLANTER BOX  
1/2" = 1'-0"



7 VISITOR PARKING SIGN  
3/4" = 1'-0"



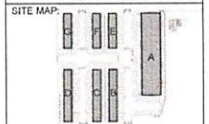
8 ACCESSIBLE PARKING SIGN  
3/4" = 1'-0"



9 SMALL CAR PARKING SIGN  
3/4" = 1'-0"

RE-ISSUED FOR DEVELOPMENT PERMIT

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(250) 268.8045 (F) 250.268.8046  
www.seymourpacific.ca



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/20/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: **ABEL ARCHITECTURE**  
THERESA M. ABEL, ARCHITECT

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD. WITHOUT DELAY. FOR CLARIFICATION AND/OR CONFIRMATION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

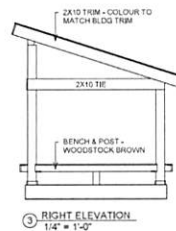
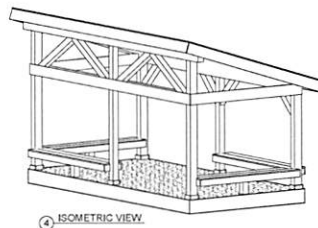
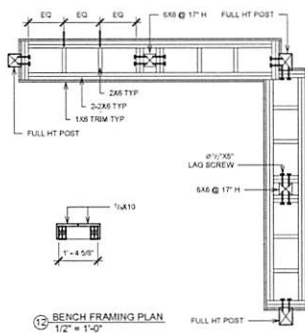
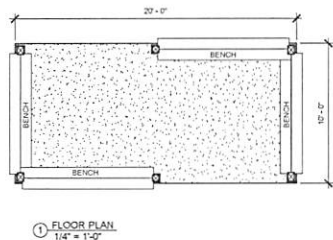
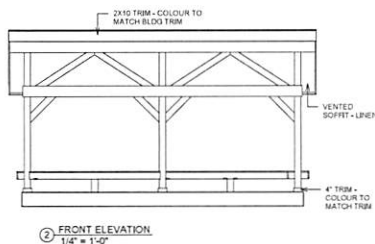
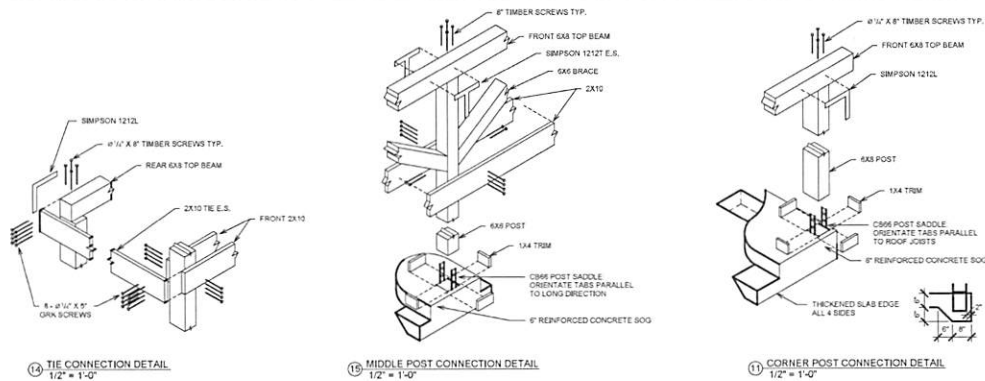
ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC

DRAWING TITLE:  
SITE ACCESSORIES 2 OF 2

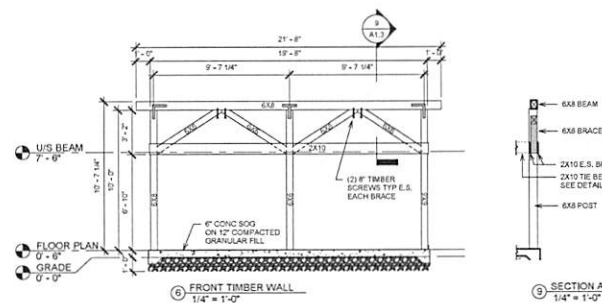
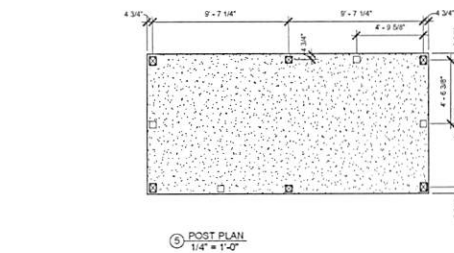
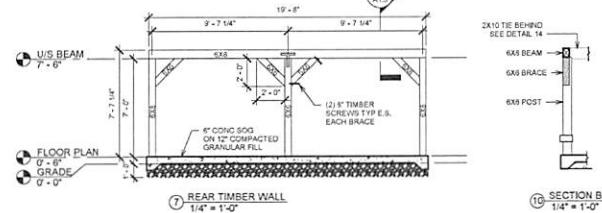
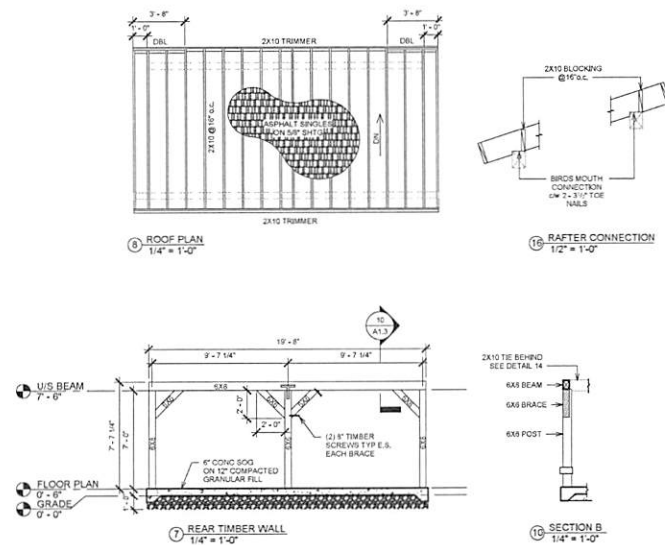
DRAWN BY: JG  
CHECKED BY: JDS  
DATE: 07/02/2021  
SCALE: As indicated

DRAWING #:  
**A1.2**

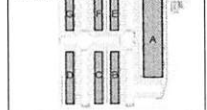
REV #  
**B**



- NOTES:
- 1) ALL POST AND BEAM MATERIAL TO BE D, FIR#1
  - 2) DIMENSIONAL LUMBER TO BE SPF #2 (TREATED)



RE-ISSUED FOR DEVELOPMENT PERMIT



TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD. WITHOUT DELAY. FOR CLARIFICATION AND/OR CORRECTION, DO NOT SCALE DRAWINGS. DIMENSIONS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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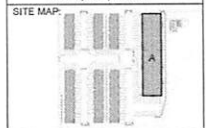
ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.

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**PROJECT STATUS:**  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/20/2021
B	RE-ISSUED FOR D.P.	07/02/2021

**SEAL:** ABLEARCHITECTURE  
THOMAS C. ABLE, ARCHITECT REG. Y. OF B.C.

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD. WITHOUT DELAY, FOR CLARIFICATION AND/OR CORRECTION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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**PROJECT NAME:**  
PORTVIEW LANDING - PHASE II

**PROJECT NUMBER:**  
2104

**ADDRESS:**  
4000 BURDE STREET  
PORT ALBERNI, BC

**DRAWING TITLE:**  
BUILDING A SECOND AND THIRD FLOOR PLAN

**DRAWN BY:** JG  
**CHECKED BY:** JGS  
**DATE:** 07/02/2021  
**SCALE:** 3/32" = 1'-0"

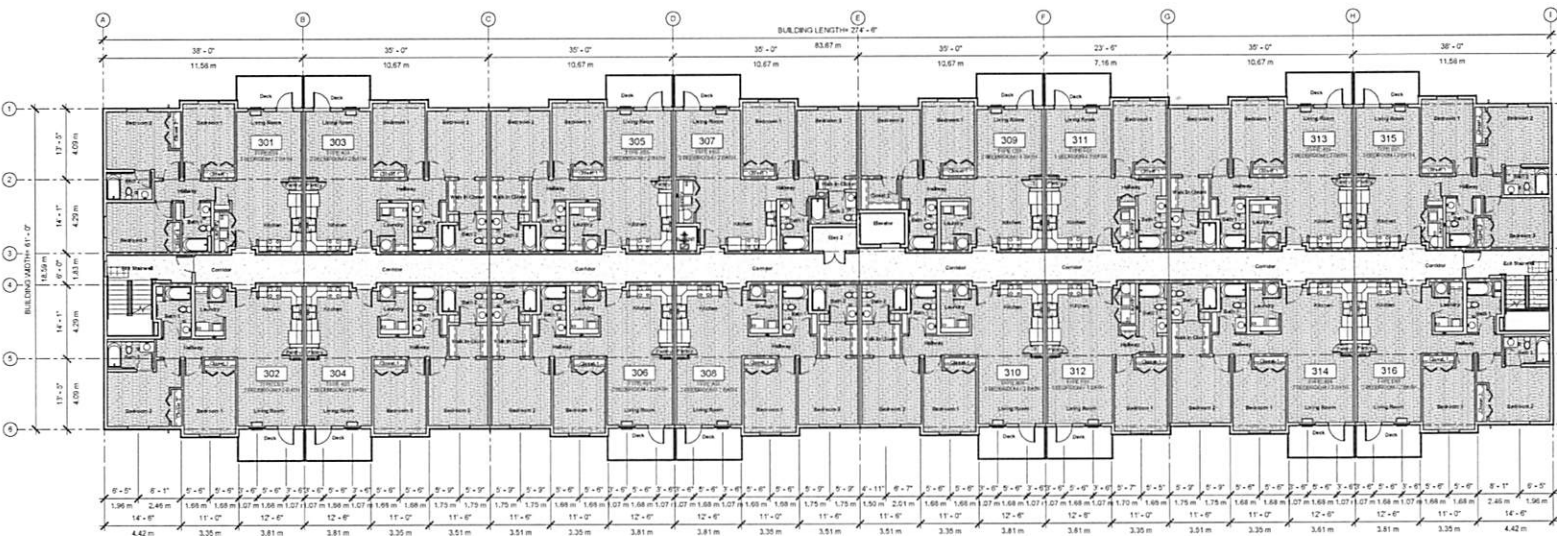
**DRAWING #:** A2.3  
**REV #:** B

RE-ISSUED FOR DEVELOPMENT PERMIT

FLOOR AREA = 17,009 SQ FT

PLACE WATER SHUT OFF IN VISIBLE LOCATION IN UNITS LAUNDRY ROOM

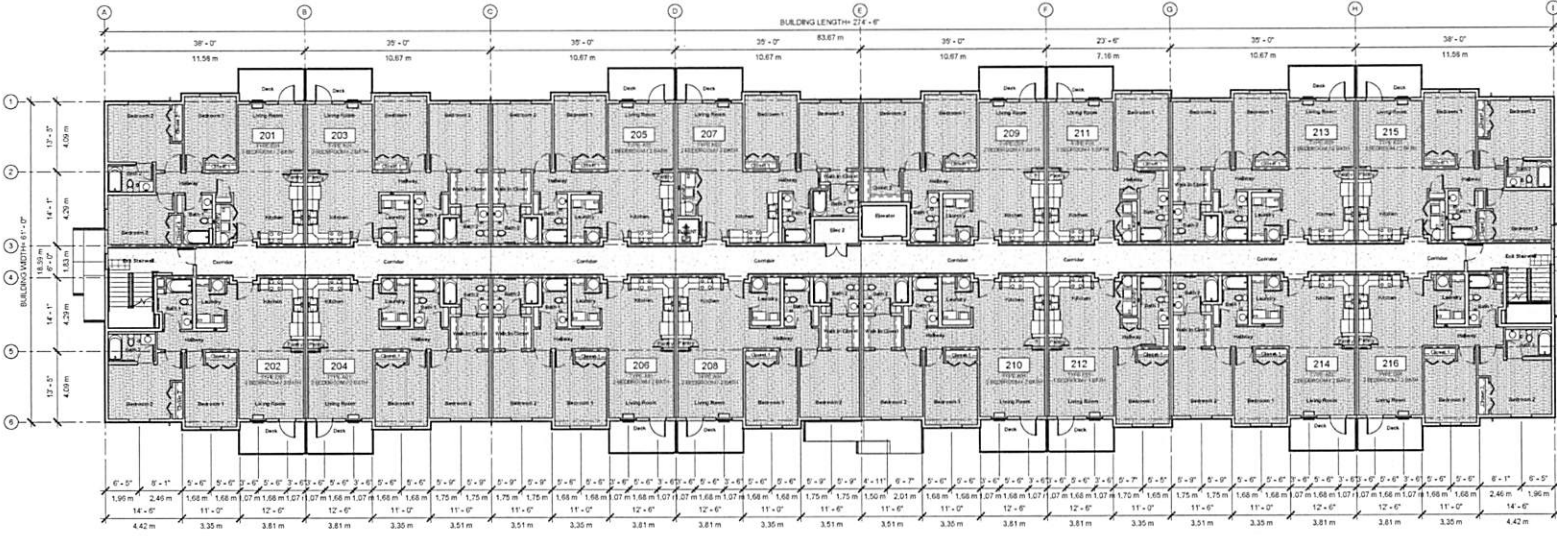
**2 3RD FLOOR BUILDING PLAN**  
Scale: 3/32" = 1'-0"



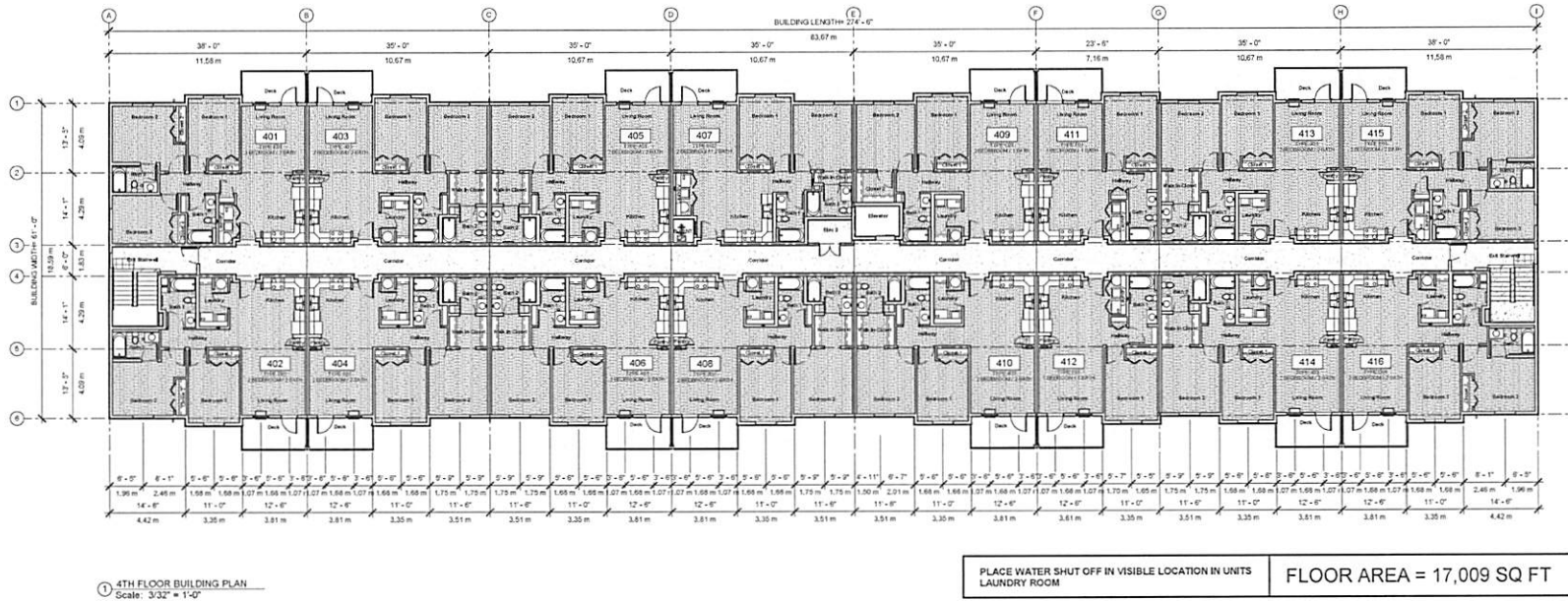
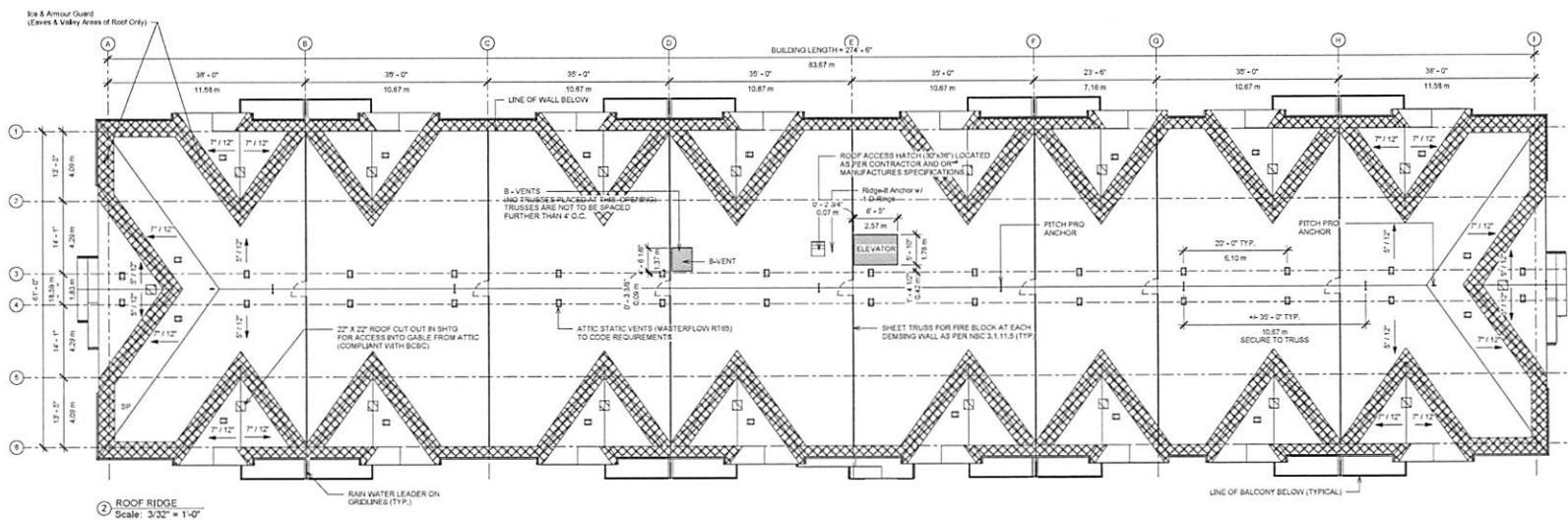
**1 2ND FLOOR BUILDING PLAN**  
Scale: 3/32" = 1'-0"

FLOOR AREA = 17,009 SQ FT

PLACE WATER SHUT OFF IN VISIBLE LOCATION IN UNITS LAUNDRY ROOM



07/02/2021 2:19:54 PM



PLACE WATER SHUT OFF IN VISIBLE LOCATION IN UNITS  
LAUNDRY ROOM

FLOOR AREA = 17,009 SQ FT

RE-ISSUED FOR DEVELOPMENT PERMIT

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(725) 258.8045 (F) 250.298.8046  
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**SITE MAP:**

**PROJECT STATUS:**  
RE-ISSUED FOR DEVELOPMENT PERMIT

No.	Description	Revision Date
A	ISSUED FOR D.P.	04/02/2021
B	RE-ISSUED FOR D.P.	07/02/2021

**SEAL:** ABELARCHITECTURE  
THESEY-001-000001-001-000001

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**PROJECT NAME:**  
PORTVIEW LANDING - PHASE II

**PROJECT NUMBER:**  
2104

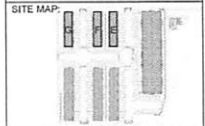
**ADDRESS:**  
4000 BURDE STREET  
PORT ALBERNI, BC

**DRAWING TITLE:**  
BUILDING A FOURTH FLOOR & ROOF PLAN

**DRAWN BY:** JG  
**CHECKED BY:** JDS  
**DATE:** 07/02/2021  
**SCALE:** 3/32" = 1'-0"

**DRAWING #:** A2.4  
**REV #:** B





PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/02/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: ABLE ARCHITECTURE  
(TRAINED AND LICENSED ARCHITECT)

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

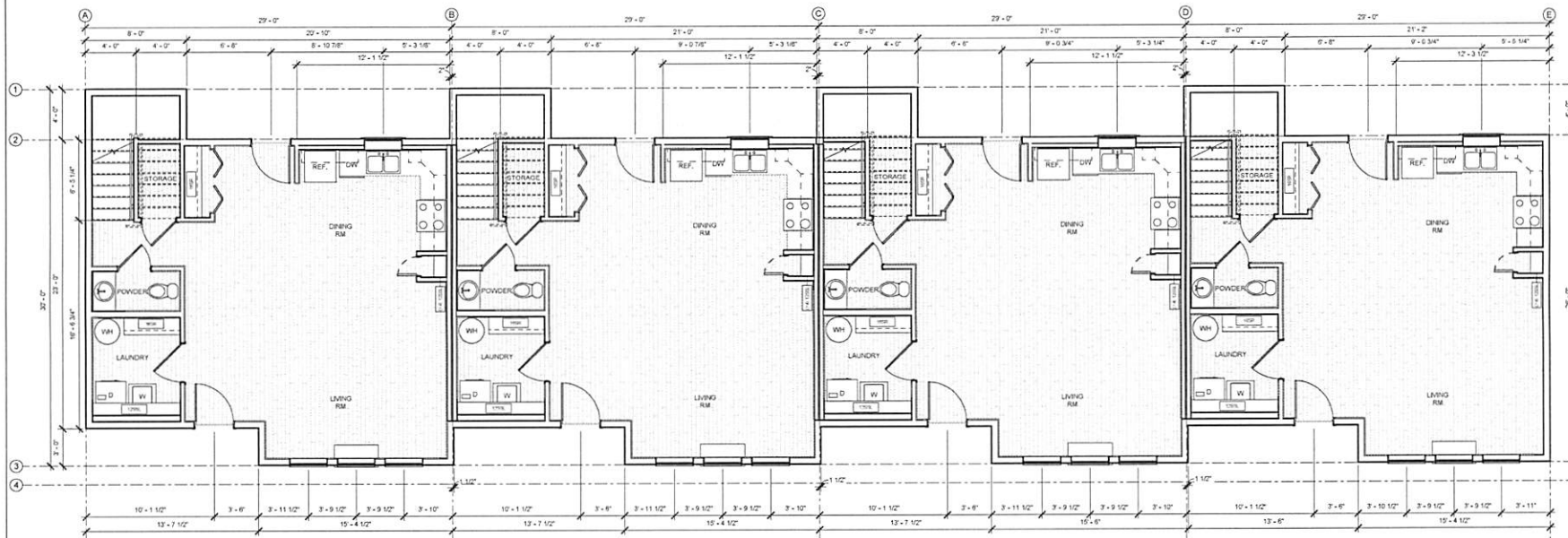
ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC

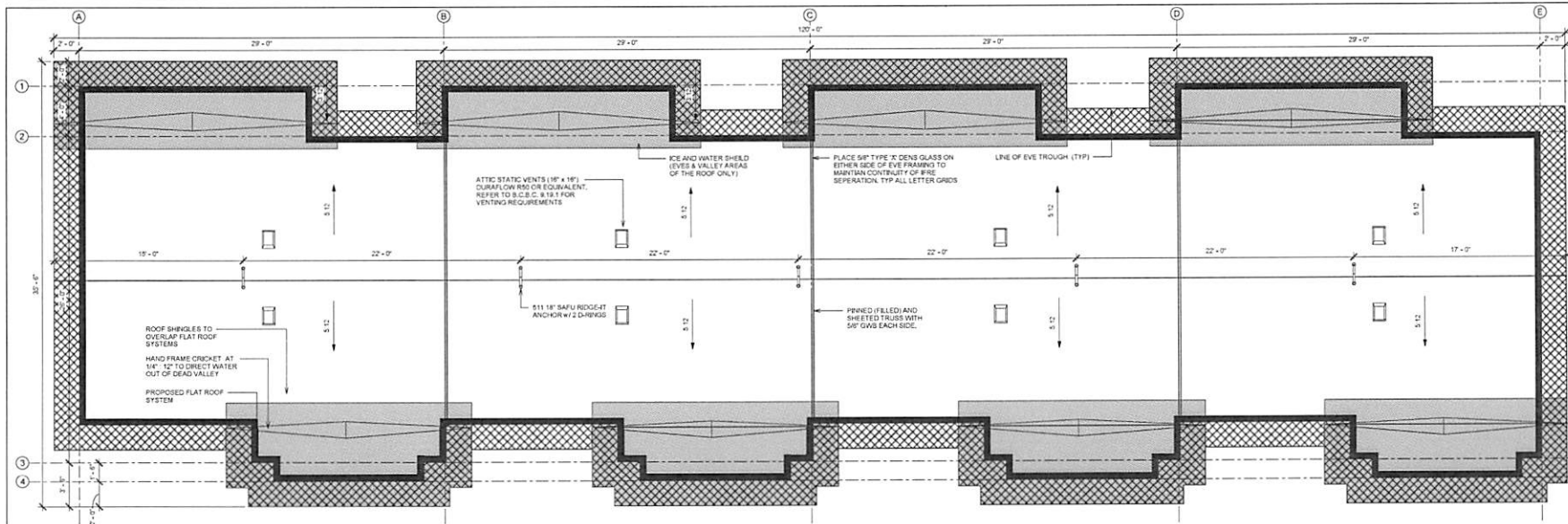
DRAWING TITLE:  
4 PLEX - MAIN FLOOR - BUILDING E/F/G

DRAWN BY: JG  
CHECKED BY: JDS  
DATE: 07/02/2021  
SCALE: 1/4" = 1'-0"

DRAWING #: A2.6  
REV # B

RE-ISSUED FOR DEVELOPMENT PERMIT



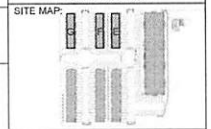


2 ROOF PLAN - BUILDING E/F/G  
1/4" = 1'-0"



1 SECOND FLOOR PLAN - BUILDING E/F/G  
1/4" = 1'-0"

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100 St Anns Street, Campbell River, B.C.  
(T)250.266.8045 (F)250.266.8048  
www.seymourpacific.ca



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/22/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: ABLEARCHITECTURE  
THOMAS ABLE ARCHITECT INC. 100-1000

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC

DRAWING TITLE:  
4 PLEX - UPPER FLOOR & ROOF  
PLAN - BUILDING E/F/G

DRAWN BY: JG

CHECKED BY: JGS

DATE: 07/02/2021

SCALE: 1/4" = 1'-0"

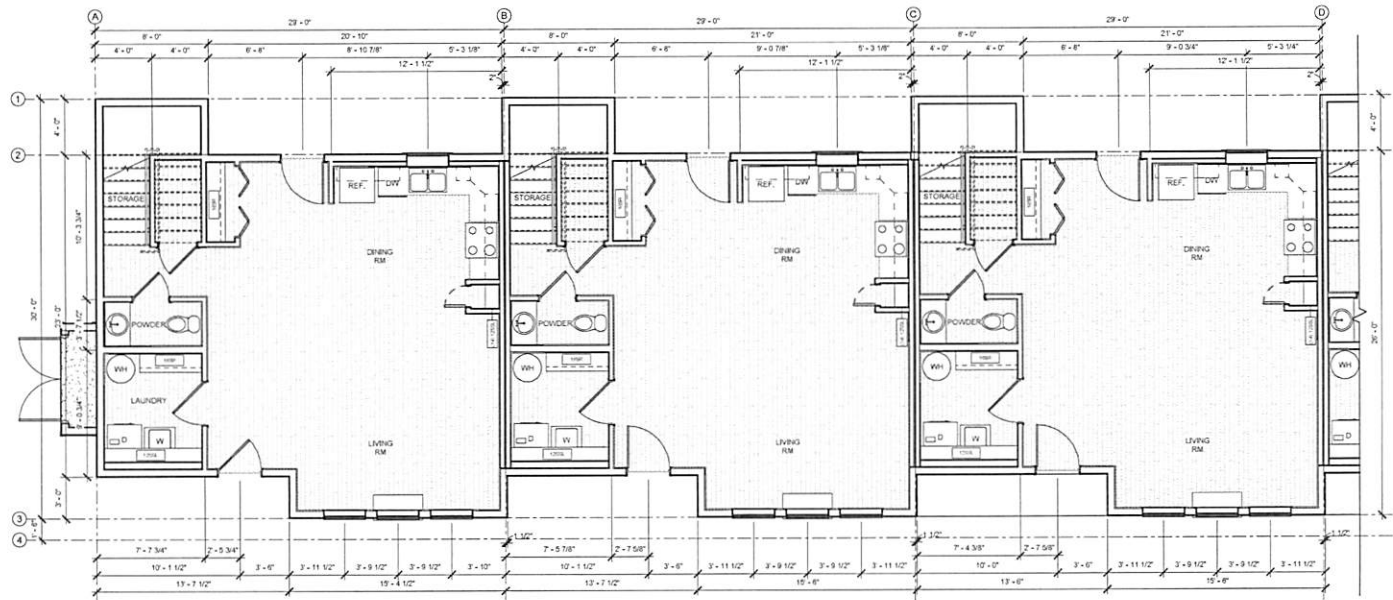
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A2.7

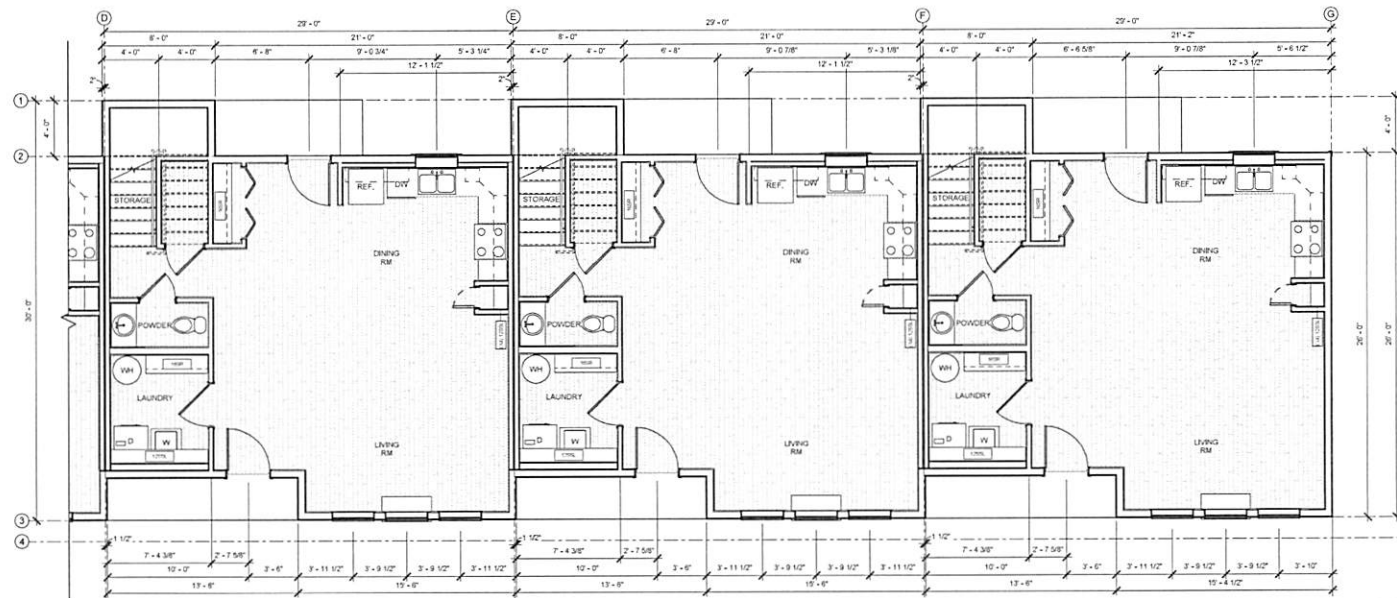
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RE-ISSUED FOR DEVELOPMENT PERMIT

07/02/2021 2:50:01 PM



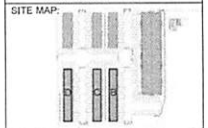
① MAIN FLOOR PLAN - BUILD, B/C/D (1 OF 2)  
Scale: 1/4" = 1'-0"



② MAIN FLOOR PLAN - BUILD, B/C/D (2 OF 2)  
Scale: 1/4" = 1'-0"

RE-ISSUED FOR DEVELOPMENT PERMIT

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(725) 256.8045 (F) 250.295.8046  
www.seymourpacific.ca



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	RE-ISSUED FOR D.P.	04/22/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: ABLE ARCHITECTURE  
TUCKER & ABLE ARCHITECTS INC. 100-1000

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

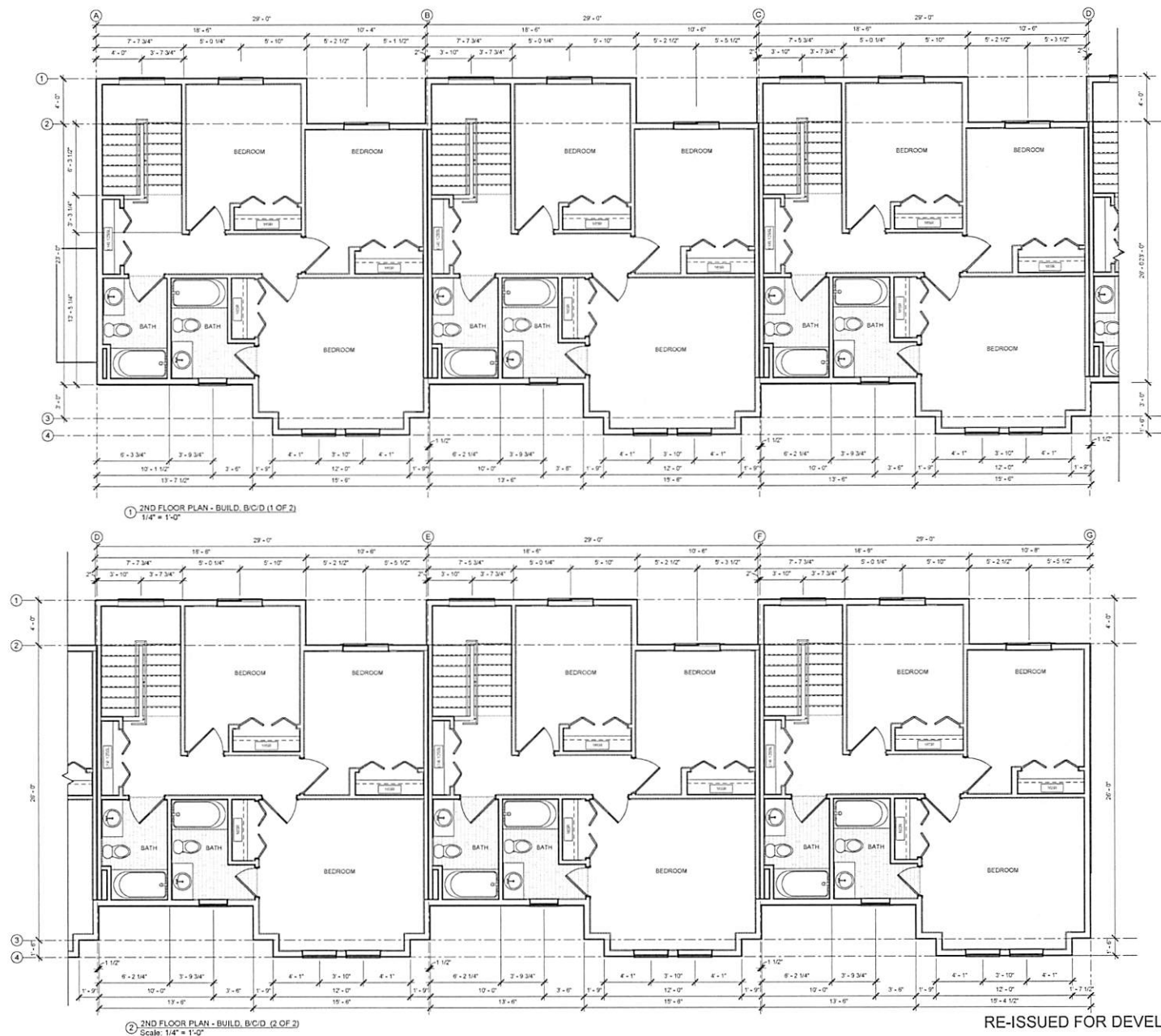
ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC


DRAWING TITLE:  
6 PLEX - MAIN FLOOR - BUILDING  
B/C/D

DRAWN BY: JG  
CHECKED BY: JGS  
DATE: 07/02/2021  
SCALE: 1/4" = 1'-0"

DRAWING #: A2.9  
REV # B

07/02/2021 2:53:29 PM



 **SEYMOUR PACIFIC**  
DEVELOPMENTS LTD  
100 St Anns Street, Campbell River, B.C.  
(T) 250.286.8045 (F) 250.286.8048  
[www.seymourpacific.ca](http://www.seymourpacific.ca)

PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

[illegible]

SEAL: **ABELEARCHITECTURE**  
THOMAS C. KIELE, ARCHITECT AEC, T. 834 8528 W

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PROJECT NAME:	PORTVIEW LANDING - PHASE II
---------------	-----------------------------


PROJECT NUMBER:
2104

ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI BC

DRAWING TITLE:

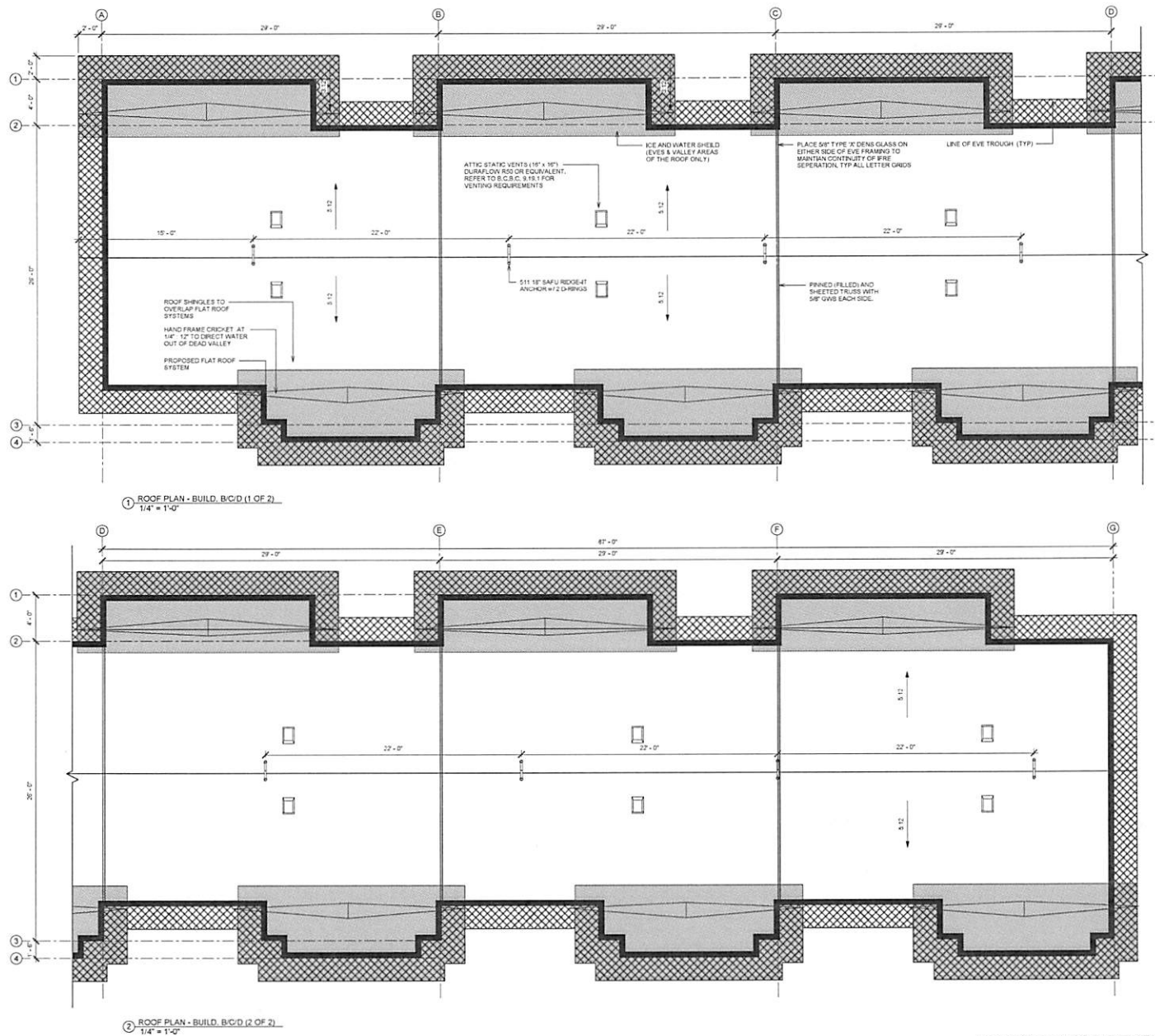
6 PLEX - UPPER FLOOR - BUILDING  
B/C/D

DRAWN BY:	JG
CHECKED BY:	JDS
DATE:	07/02/2021
SCALE:	1:1

SCALE: 1/4" = 1'-0"	
DRAWING #:	REV #:
<u>A2.10</u>	

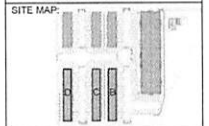
RE-ISSUED FOR DEVELOPMENT PERMIT

07/02/2021 2:53:31 PM



RE-ISSUED FOR DEVELOPMENT PERMIT

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(725) 286.8045 (F) 250.286.8046  
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**PROJECT STATUS:**  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/02/2021
B	RE-ISSUED FOR D.P.	07/02/2021

**SEAL:** ABLEARCHITECTURE  
THESE ARE NOT TO BE USED FOR ANY OTHER PROJECT

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**PROJECT NAME:**  
PORTVIEW LANDING - PHASE II

**PROJECT NUMBER:**  
2104

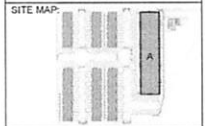
**ADDRESS:**  
4000 BURDE STREET  
PORT ALBERNI, BC

**DRAWING TITLE:**  
6 PLEX - ROOF PLAN - BUILDING B/C/D

**DRAWN BY:** JG  
**CHECKED BY:** JDS  
**DATE:** 07/02/2021  
**SCALE:** 1/4" = 1'-0"

**DRAWING #:** A2.11  
**REV #:** B





**PROJECT STATUS:**  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	RE-ISSUED FOR D.P.	04/20/2021
B	RE-ISSUED FOR D.P.	07/02/2021

**SEAL:** ABLEARCHITECTURE  
REGISTERED ARCHITECT, B.C.

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**PROJECT NAME:**  
PORTVIEW LANDING - PHASE II

**PROJECT NUMBER:**  
2104

**ADDRESS:**  
4000 BURDE STREET  
PORT ALBERNI, BC

**DRAWING TITLE:**  
BUILDING A ELEVATIONS

**DRAWN BY:** JG  
**CHECKED BY:** JDS  
**DATE:** 07/02/2021  
**SCALE:** As indicated

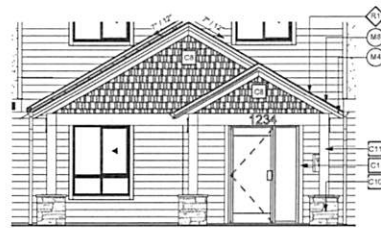
**DRAWING #:** A3.0  
**REV #:** B



**1 FRONT ELEVATION**  
Scale: 3/32" = 1'-0"



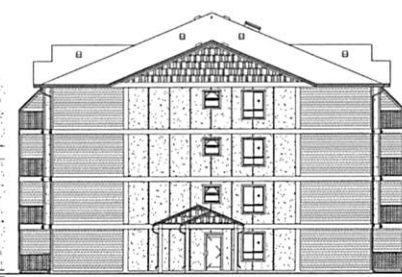
**3 LEFT ELEVATION**  
Scale: 3/32" = 1'-0"



**5 FRONT ENTRY ELEVATION**  
Scale: 1/4" = 1'-0"



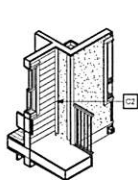
**6 SIDE ENTRY ELEVATION**  
Scale: 1/4" = 1'-0"



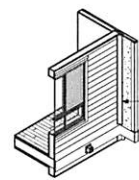
**4 RIGHT ELEVATION**  
Scale: 3/32" = 1'-0"



**2 BACK ELEVATION**  
Scale: 3/32" = 1'-0"



**8 3D ISO - 1 OF 2**  
Scale:



**7 3D ISO - 2 OF 2**  
Scale:

EXTERIOR CLADDING PRODUCT		
DESCRIPTION	COLOR	LOCATION
4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOW & DOOR TRIM
4" CEMENT BOARD TRIM	ARTIC WHITE	BUMPOUTS, ENDWALLS
1/2" EASY TRIM	ANODIZED	-
10" CEMENT BOARD TRIM	ARTIC WHITE	HORIZONTAL BELLY BAND
12" CEMENT BOARD TRIM	ARTIC WHITE	VERTICAL PARTITION
PLANK - CEDAR/MILL	IRON GRAY	LEVEL 1 + 2
PLANK - CEDAR/MILL	WOODSTOCK BROWN	LEVEL 3 + 4
SHINGLE - STRAIGHT	NAVAJO BEIGE	GABLES
PANEL - CEDAR/MILL NG	NAVAJO BEIGE	BUMP OUT / BUILDING ENDS
CULTURED STONE	EUCALYPTUS COUNTRY	FRONT GARDEN POSTS & BUILDING ENDS
TIMBER	CLEAR COAT	ENTRIES

EXTERIOR METAL PRODUCT		
DESCRIPTION	COLOR	LOCATION
ALUMINUM DOWNSPOUTS	BLACK	-
ALUMINUM GUTTERS 5" K STYLE	BLACK	REFER TO DETAIL 6M4.2
ALUMINUM RAILING - WELDED SYSTEM	BLACK	REFER TO DETAIL 6M4.3
ALUMINUM FASCIA 6"	BLACK	REFER TO DETAIL 6M4.2
4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6M4.2
VAL FLASHING	BLACK	-
SHINGLE STEP FLASHING	BLACK	-
ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6M4.2
DRIP CAP FLASHING	WHITE	VARIOUS
REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
PLASTIC VENT	WHITE	-

EXTERIOR ROOFING PRODUCT	
DESCRIPTION	COLOR
ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
ATTIC STATIC VENT	-

RE-ISSUED FOR DEVELOPMENT PERMIT





1 COLOUR - FRONT ELEVATION  
Scale: 3/32" = 1'-0"



2 COLOUR - LEFT ELEVATION  
Scale: 3/32" = 1'-0"



3 COLOUR - RIGHT ELEVATION  
Scale: 3/32" = 1'-0"



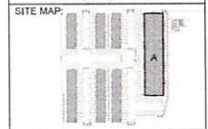
4 COLOUR - BACK ELEVATION  
Scale: 3/32" = 1'-0"

EXTERIOR CLADDING PRODUCT			
CALLOUT	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARTIC WHITE	WINDOWS & DOOR TRIM
C2	4" CEMENT BOARD TRIM	ARTIC WHITE	BUMPOUTS, ENDWALLS
C3	1/2" EASY TRIM	ANODIZED	-
C4	10" CEMENT BOARD TRIM	ARTIC WHITE	HORIZONTAL BELLY BAND
C5	12" CEMENT BOARD TRIM	ARTIC WHITE	VERTICAL PARTITION
C6	PLANK - CEDARMILL	IRON GRAY	LEVEL 1 + 2
C7	PLANK - CEDARMILL	WOODSTOCK BROWN	LEVEL 3 + 4
C8	SHINGLE - STRAIGHT	NAVAJO BEIGE	GABLES
C9	PANEL - CEDARMILL NG	NAVAJO BEIGE	BUMP OUT / BUILDING ENDS
C10	CULTURED STONE	EUCALYPTUS COUNTRY	FRONT CANOPES POSTS & BUILDING ENDS
C11	TIMBER	CLEAR COAT	ENTRIES

EXTERIOR METAL PRODUCT			
CALLOUT	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	BLACK	-
M2	ALUMINUM GUTTERS 2" X STYLE	BLACK	REFER TO DETAIL 6/M.2
M3	ALUMINUM RAILING - WELDED SYSTEM	BLACK	REFER TO DETAIL 6/M.3
M4	ALUMINUM FASCIA 6"	BLACK	REFER TO DETAIL 6/M.2
M5	4 PANEL CLASSIC SOFFIT	LINEN	REFER TO DETAIL 6/M.2
M6	WALL FLASHING	BLACK	-
M7	SHINGLE STEP FLASHING	BLACK	-
M8	ROOF EDGE FLASHING	BLACK	REFER TO DETAIL 6/M.2
M9	DRIP CAP FLASHING	WHITE	VARIOUS
M10	REVERSE DRIP FLASHING	WHITE	PLANK WINDOW TRIM
M11	PLASTIC VENT	WHITE	-

EXTERIOR ROOFING PRODUCT		
CALLOUT	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	BLACK
R2	ATTIC STATIC VENT	-

**SEYMOUR PACIFIC DEVELOPMENTS LTD.**  
100 St Anns Street, Campbell River, B.C.  
(725) 256.8045 (F) 250.299.8046  
www.seymourpacific.ca



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	RE-ISSUED FOR D.P.	04/20/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: ABEL ARCHITECTURE  
THERESA ABEL, ARCHITECT, AEC 7, 04/20/2021

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD. WITHOUT DELAY. FOR CLARIFICATION AND/OR CORRECTION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC

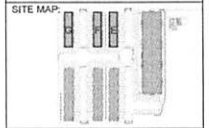
DRAWING TITLE:  
COLOUR - BUILDING ELEVATIONS

DRAWN BY: JG  
CHECKED BY: JDS  
DATE: 07/02/2021  
SCALE: As indicated

DRAWING #:  
A3.1



RE-ISSUED FOR DEVELOPMENT PERMIT



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/22/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: **ABELARCHITECTURE**  
THE ARCHITECT

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

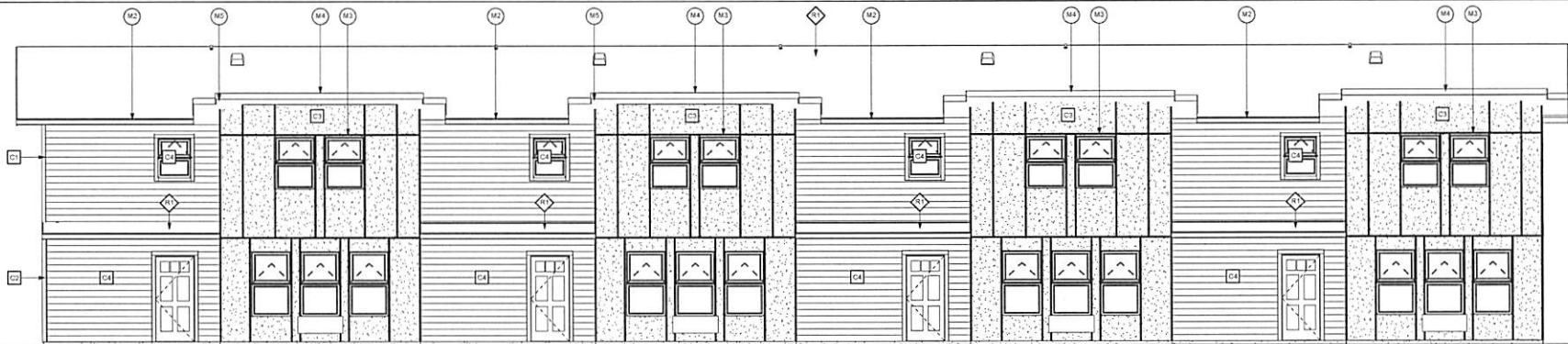
PROJECT NUMBER:  
2104

ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC

DRAWING TITLE:  
4 PLEX - ELEVATIONS - BUILDING  
E/F/G

DRAWN BY: JG  
CHECKED BY: JDS  
DATE: 07/02/2021  
SCALE: AS NOTED

DRAWING #: **A3.2**  
REV # **B**

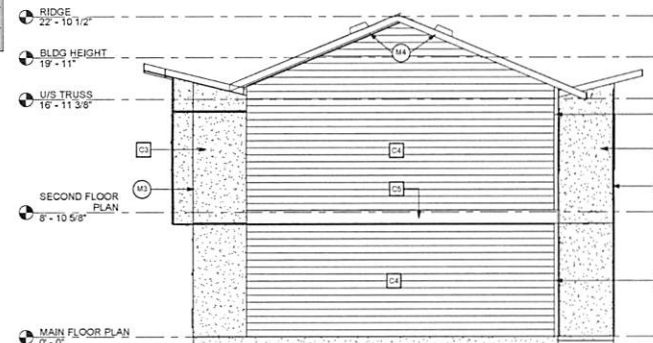


1 FRONT ELEVATION  
1/4" = 1'-0"

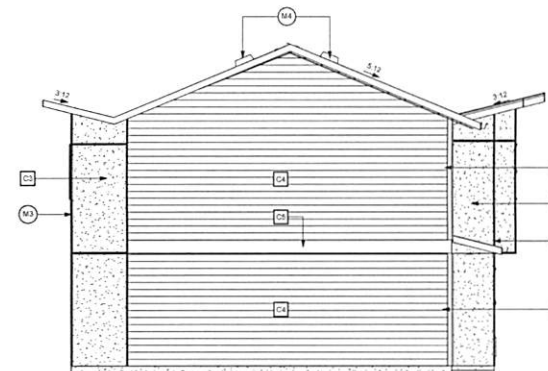
EXTERIOR CLADDING PRODUCT			
CD	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	ARCTIC WHITE	WINDOW & DOOR TRIM
C2	4" CEMENT BOARD TRIM	ARCTIC WHITE	CORNER TRIM
C3	PANEL - CEDARML N/D	NAVAJO BEIGE	BUMP OUT / BUILDING ENDS
C4	PLANK - CEDARML	IRON GREY	LEVEL 1 - 2 AS NOTED
C5	12" CEMENT BOARD TRIM	ARCTIC WHITE	HORIZONTAL BELLY BAND

EXTERIOR METAL PRODUCT			
MD	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM DOWNSPOUTS	WHITE	VARIOUS
M2	ALUMINUM GUTTERS 5" X STYLE	WHITE	VARIOUS
M3	1/2" TRIM	ANODIZED ALUMINUM	PANEL LOCATIONS
M4	ALUMINUM FASCIA 6"	WHITE	TYP FASQA
M5	4 PANEL CLASSIC SOFFIT	LINEIN	TYP SOFFIT
M6	PLASTIC VENT	WHITE	VARIOUS

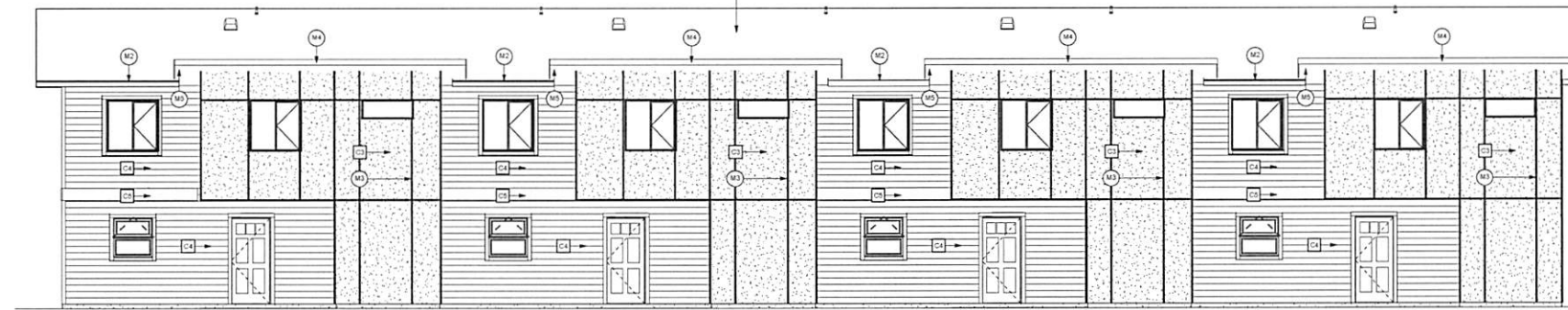
EXTERIOR ROOFING PRODUCT		
RD	DESCRIPTION	COLOR
R1	ROOFING SHINGLES - 30 YEAR LAMINATE	SLATE BLACK
R2	ATTIC STATIC VENT	BLACK



4 RIGHT ELEVATION  
1/4" = 1'-0"



3 LEFT ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"

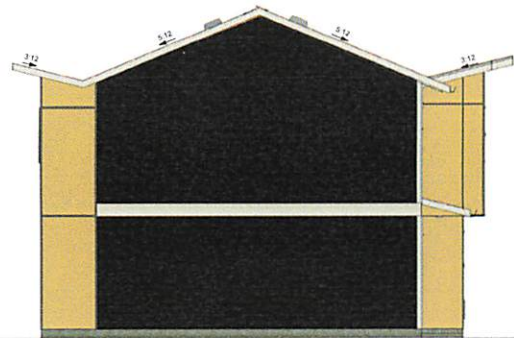
RE-ISSUED FOR DEVELOPMENT PERMIT

07/02/2021 2:50:04 PM





① FRONT ELEVATION - COLOUR  
1/4" = 1'-0"

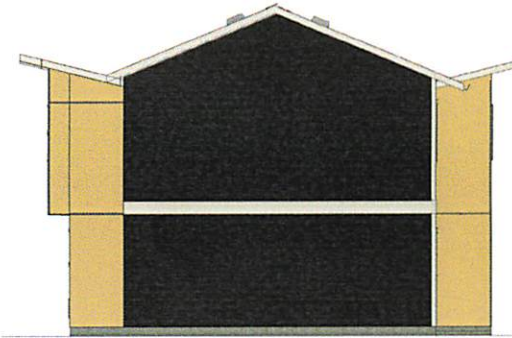


③ LEFT ELEVATION - COLOUR  
1/4" = 1'-0"

EXTERIOR CLADDING PRODUCT		
CD	DESCRIPTION	LOCATION
CD1	4" CEMENT BOARD TRIM	ARCTIC WHITE
CD2	4" CEMENT BOARD TRIM	ARCTIC WHITE
CD3	PANEL - CEDARWIL NG5	NAVAJO BEIGE
CD4	PANEL - CEDARWIL	BIRCH GREY
CD5	12" CEMENT BOARD TRIM	ARCTIC WHITE

EXTERIOR METAL PRODUCT		
MD	DESCRIPTION	LOCATION
MD1	ALUMINUM DOWNSPOUTS	WHITE
MD2	ALUMINUM OUTLETS 5" X STYLE	WHITE
MD3	"E-Z" TRIM	ANODIZED ALUMINUM
MD4	ALUMINUM FASCIA 6"	WHITE
MD5	4 PANEL CLASSIC SOFFIT	UNFIN
MD6	PLASTIC VENT	WHITE

EXTERIOR ROOFING PRODUCT	
RD	DESCRIPTION
RD1	ROOFING SHINGLES - 30 YEAR LAMINATE
RD2	ATTIC STATIC VENT



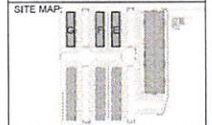
④ RIGHT ELEVATION - COLOUR  
NTS



② REAR ELEVATION - COLOUR  
1/4" = 1'-0"

RE-ISSUED FOR DEVELOPMENT PERMIT

**SEYMOUR PACIFIC DEVELOPMENTS LTD.**  
100 St Anns Street, Campbell River, B.C.  
(725) 256.8045 (F) 250.256.8046  
www.seymourpacific.ca



PROJECT STATUS:  
RE-ISSUED FOR DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	04/02/2021
B	RE-ISSUED FOR D.P.	07/02/2021

SEAL: ABELARCHITECTURE  
THESE ARCHITECTS INC. - B.C. REG.

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PROJECT NAME:  
PORTVIEW LANDING - PHASE II

PROJECT NUMBER:  
2104

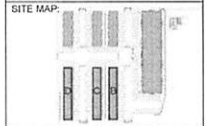
ADDRESS:  
4000 BURDE STREET  
PORT ALBERNI, BC

DRAWING TITLE:  
4 PLEX - COLOUR ELEVATIONS - BUILDING E/F/G

DRAWN BY: JG  
CHECKED BY: JDS  
DATE: 07/02/2021  
SCALE: NTS

DRAWING #: A3.3  
REV # B

07/02/2021 2:56:40 PM



**PROJECT STATUS:**  
RE-ISSUED FOR DEVELOPMENT PERMIT

No.	Description	Revision Date
A	ISSUED FOR C.P.	04/22/2021
B	RE-ISSUED FOR C.P.	07/02/2021

**SEAL:** ABLEARCHITECTURE  
ARCHITECTS INC. - BC REG. NO. 12345

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**PROJECT NAME:**  
PORTVIEW LANDING - PHASE II

**PROJECT NUMBER:**  
2104

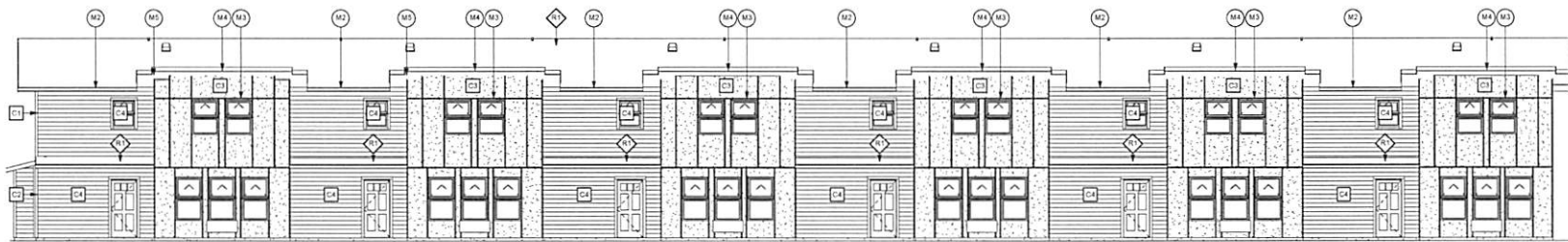
**ADDRESS:**  
4000 BURDE STREET  
PORT ALBERNI, BC

**DRAWING TITLE:**  
6 PLEX - BLDG ELEVATIONS - BUILDING B/C/D

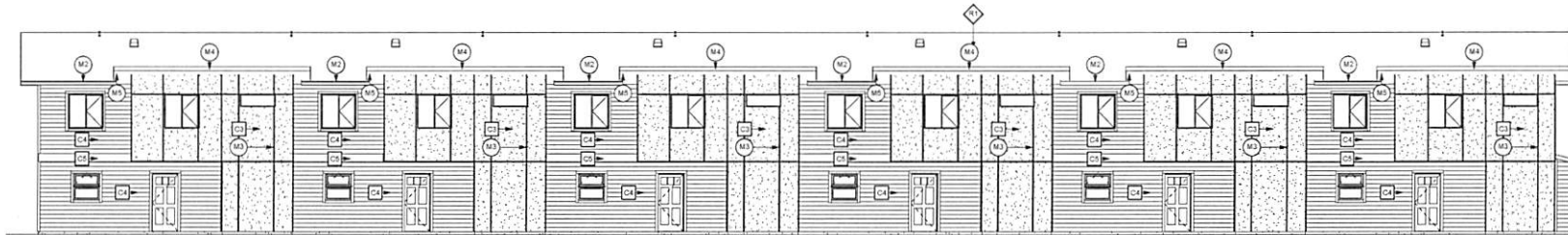
**DRAWN BY:** JG  
**CHECKED BY:** JDS  
**DATE:** 07/02/2021  
**SCALE:** AS NOTED

**DRAWING #:** A3.4  
**REV #:** B

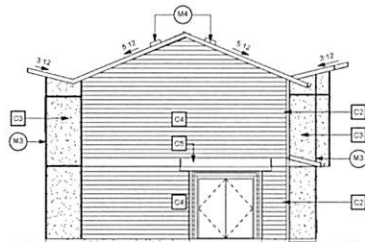
RE-ISSUED FOR DEVELOPMENT PERMIT



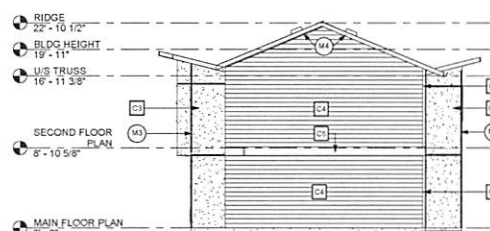
1 FRONT ELEVATION  
NTS



2 REAR ELEVATION  
NTS



3 LEFT ELEVATION  
NTS



4 RIGHT ELEVATION  
NTS

● RIDGE  
22' - 10 1/2"

● BLDG HEIGHT  
19' - 11"

● U/S TRUSS  
16' - 11 3/8"

● SECOND FLOOR PLAN  
8' - 10 5/8"

● MAIN FLOOR PLAN  
0' - 0"

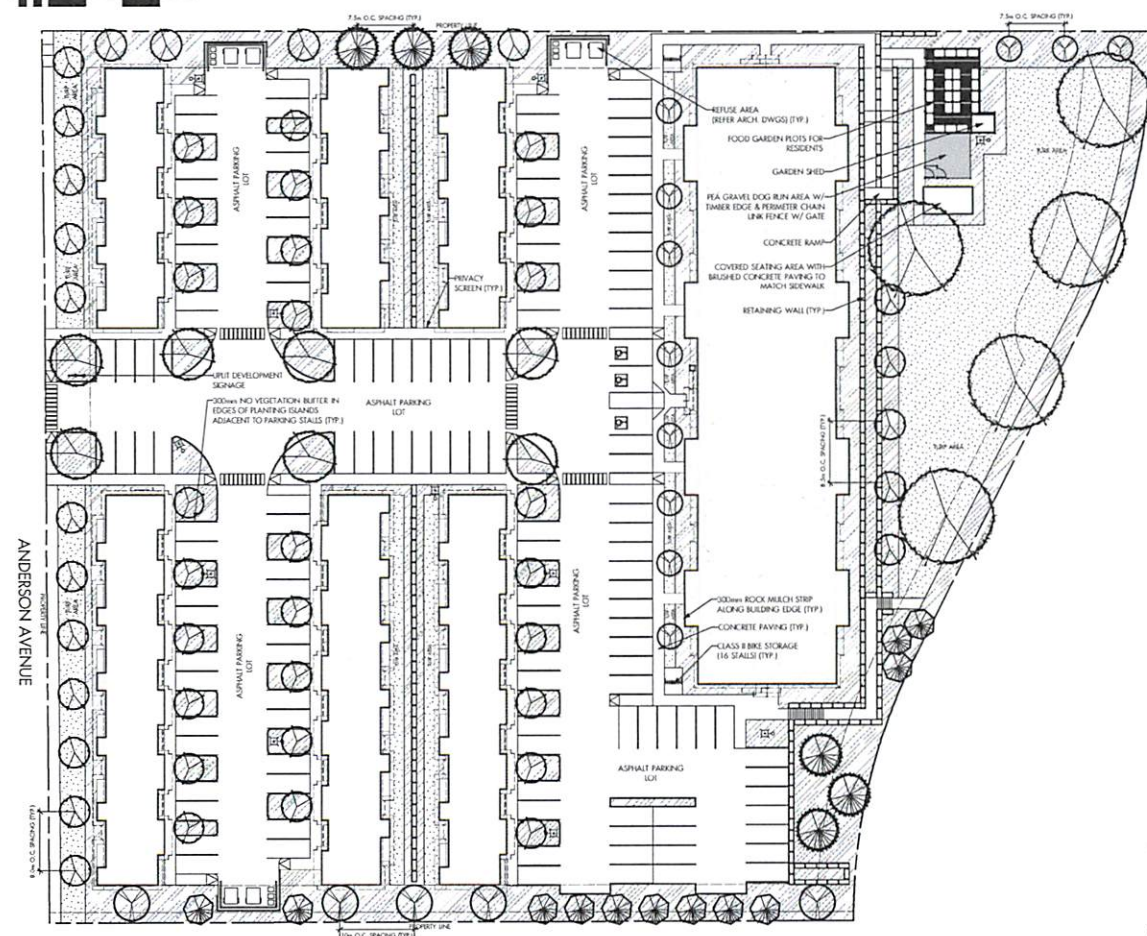
EXTERIOR CLADDING PRODUCT		
DESCRIPTION	COLOR	LOCATION
4" CEMENT BOARD TRIM	ARCTIC WHITE	WINDOW & DOOR TRIM
4" CEMENT BOARD TRIM	ARCTIC WHITE	CORNER TRIM
PANEL - CEDARWIL NG	NAVAJO BEIGE	BUMP OUT / BUILDING ENDS
PLANK - CEDARWIL	IRON GREY	LEVEL 1 - 2 AS NOTED
12" CEMENT BOARD TRIM	ARCTIC WHITE	HORIZONTAL BELL BAND

EXTERIOR METAL PRODUCT		
DESCRIPTION	COLOR	LOCATION
ALUMINUM DOWNSPOUTS	WHITE	VARIOUS
ALUMINUM GUTTERS 9" K STYLE	WHITE	VARIOUS
"E-C" TRIM	ANODIZED ALUMINUM	PANEL LOCATIONS
ALUMINUM FASCIA 6"	WHITE	TYP FASCIA
4 PANEL CLASSIC SOFFIT	LINEN	TYP SOFFIT
PLASTIC VENT	WHITE	VARIOUS







EXTERIOR ROOFING PRODUCT	
DESCRIPTION	COLOR
ROOFING SHINGLES - 30 YEAR LAMINATE	SLATE BLACK
ATTIC STATIC VENT	BLACK







1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED C.N.S.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC ZONE-CONTROLLED IRRIGATION SYSTEM.
3. TREES AND SHRUBS BEGINS TO BE GROWN IN A MINIMUM 18"X36" DECORATIVE BUCK WALSH WITH WOOD SHIMMER FABRIC.
4. TREES AND SHRUBS BEGINS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TREY AREAS FROM SOFT SHOULDER TO 1.81 GRADE GROWTH FROM CEMETED BEDS OF IMPROVED CLAYFORS. REGISTERED FOR 1.81 GRADE AND SHALL BE CEMENTED OF COOPERATING. A MINIMUM 300mm DEPTH OF GROWING MEDIA IS REQUIRED FOR EACH TREY AREAS. TREY AREAS SHALL BE EXISTING GRASSES AND HARD SURFACES (STU).
6. SITE GRADING AND DRAINAGE WILL INSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LIQUID INTERFERES WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PLANT, GRASSLAND, OR PRIVATE PROPERTIES.

	DECIDUOUS TREE
	CONIFEROUS TREE
	PLANTING AREA W/ DECORATIVE ROCK MULCH & WEED BARRIER FABRIC
	CRUSHER FINES
	PEA GRAVEL, DOG RUN
	TURF FROM SOD (SOURCE LOCALLY)



303.590 KLO Road  
Kelowna, BC V1Y 7S2  
T (250) 868-9270  
[www.outfitterdesign.ca](http://www.outfitterdesign.ca)



## Fort Abner, BC

## LAYOUT PLAN

TABLE 1. <i>Continued</i>		
1	1.1 mol %	Reaction
2	1.1 mol %	Reaction
3	1.1 mol %	Reaction
4	2.2 mol %	Reaction
5	2.2 mol %	Reaction

PROJECT NO.	11001
DESIGN BY	ECI
DRAWN BY	ECI
CHECKED BY	RS
DATE	OCT 4, 2021
SCALE	1/320
DATE SUB.	10/25/21



TRANSPORT BY RIVER

L 1/2

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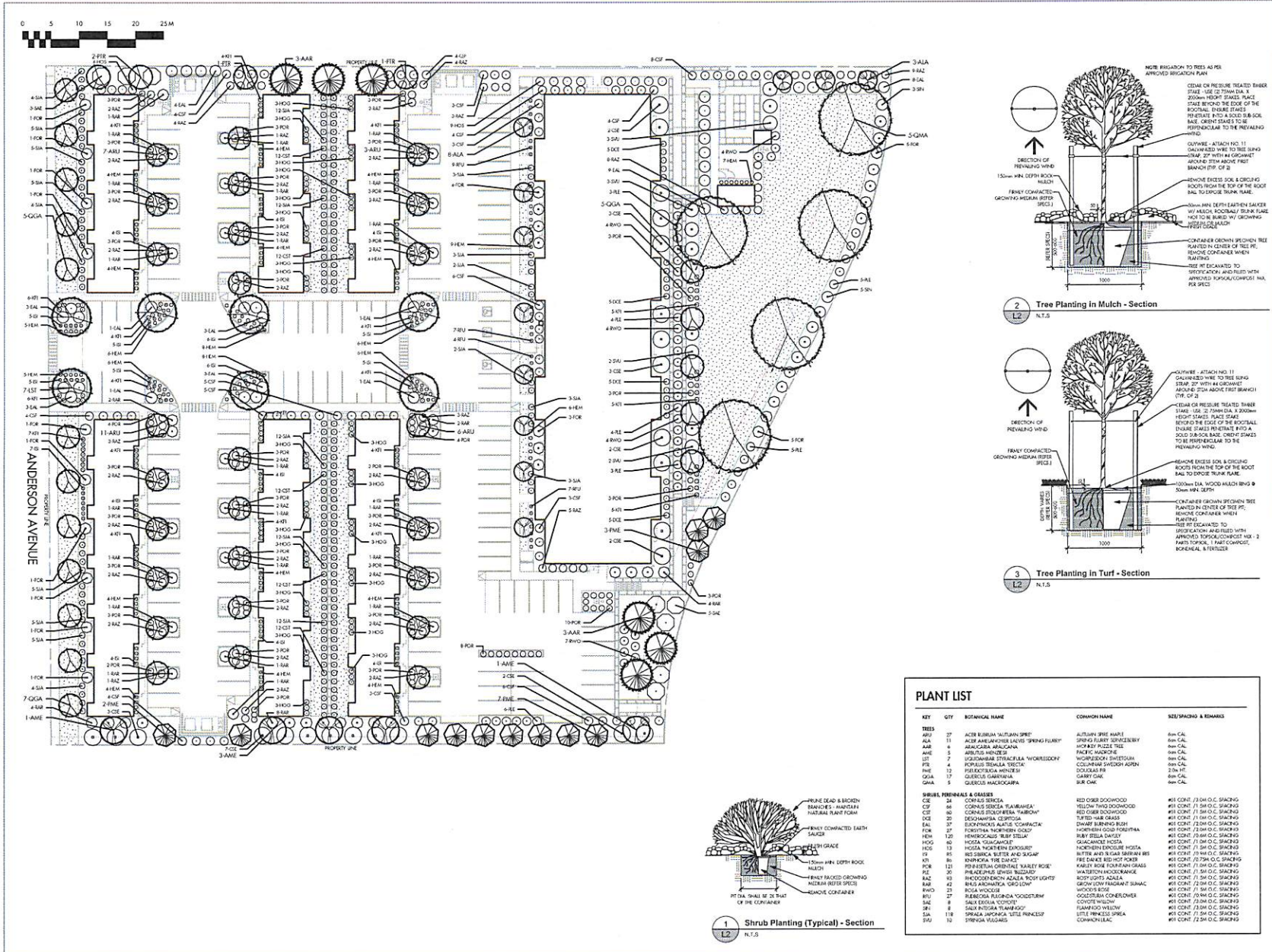
ITEM NO.	QUANTITY	REMARKS
1	1	1.0000
2	1	1.0000
3	1	1.0000
4	1	1.0000
5	1	1.0000
6	1	1.0000
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94	1	1.0000
95	1	1.0000
96	1	1.0000
97	1	1.0000
98	1	1.0000
99	1	1.0000
100	1	1.0000




**L2/2**

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Date: January 24, 2022  
File No: 1700-20-2022-2026  
To: Mayor & Council  
From: Scott Smith, Acting CAO | Director of Development Services  
Subject: "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" | Consider 1<sup>st</sup> Reading

Prepared by: <i>A. MCGIFFORD</i> Director of Finance	Supervisor: <i>S. SMITH</i> S. SMITH, ACTING CHIEF ADMINISTRATIVE OFFICER	A   CAO Concurrence:  Scott Smith   Acting CAO
--	--	---

#### RECOMMENDATION[S]

THAT the "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" be now introduced and read a first time.

#### PURPOSE

That Council considering giving first reading of the "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022".

#### BACKGROUND

The *Community Charter* [CC] requires that a municipality must have a financial plan that is adopted annually. The CC goes further to state that the planning period for a financial plan is 5 years, that period being the year in which the plan is specified to come into force and the following 4 years. In addition to the financial plan needing to set out objectives and policies of the municipality, the process must also include a process of public consultation/engagement prior to its adoption.

In advance of Council being asked to consider 1<sup>st</sup> reading of the proposed bylaw, the City's Director of Finance, at a Committee of the Whole meeting held Monday, January 24, 2022 provided members of the Committee with a high-level overview of the City's draft five-year plan.

#### ALTERNATIVES/OPTIONS

- 1) Provide first reading to formally introduce and commence the annual financial planning process;
- 2) Provide alternate direction.

#### ANALYSIS

The draft 'Five-Year Financial Plan' includes a preliminary increase in property taxes for general purposes of 4.97% overall in 2022. In large part this 'Financial Plan' was approved within the 2021-2025 Financial Plan. It is important to note the final 'Five-Year Financial Plan for 2021-2025' included a 4.97% increase for 2022.



Tax rates for 2022 will be set by separate bylaw and scheduled to be presented to Council in April 2022, subsequent to final adoption of the "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" and receipt of BC Assessment's Revised Roll.

The *Community Charter* requires reporting on objectives and statements of policy on certain revenues and taxes in each municipality's Five-Year Financial Plan such as:

- proportion of total revenue sourced from property value taxes, parcel taxes, fees and charges, proceeds from borrowing, and other;
- allocation of property taxes by class of property [i.e. residential, commercial, industrial]; and
- permissive tax exemptions.

In BC, all municipalities must consider the proposed tax rates for each property class in conjunction with the objectives and policies presented in the 'Financial Plan'. The intent of the disclosure of a municipality's objectives and policies is to promote accountability and transparency to the public.

Staff are inviting Council to consider giving first reading to the "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" to formally introduce the bylaw and permit the opportunity for review, provide alternative direction, and amendments within legislative deadlines.

#### IMPLICATIONS

The final impact of the annual "Five-Year Financial Plan" will likely not be confirmed until April 2022. The province requires adoption of the 'Financial Plan' and associated bylaws before May 15<sup>th</sup> of each year.

#### COMMUNICATIONS

Included in the presentation materials at the Committee of the Whole meeting held January 24, 2022, is the proposed schedule:

Date	Meeting	Purpose
January 24, 2022	CoW	Director of Finance to present and summarize the City's proposed Five-Year Financial Plan
January 31, 2022	RCM	Council to consider First Reading   "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022"
February 14, 2022	RCM	Staff to formally respond to comments and/or questions from previous CoWs and RCMs
February 22, 2022	CoW	Opportunity for an informal exchange between members of the Committee, staff and members of the public
March 7, 2022	CoW	E-Town Hall   Expanding on public engagement by providing an electronic platform for the public to submit questions/comments specific to the draft plan
March 14, 2022	RCM	Council to consider Second Reading   "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022"
March 28, 2022	RCM	Council to consider Third Reading   "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022"
April 11, 2022	RCM	Council to consider Final Adoption   "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022"

Council has the ability to schedule additional meetings [Regular and Committee] should they be required. Staff will continue to speak to opportunities for public engagement including details as to how citizens may participate at the E-Town Hall scheduled to be held March 7, 2022 at 7:00 pm.

#### **BYLAWS/PLANS/POLICIES**

- *"City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022"*

#### **SUMMARY**

- The 2022–2026 draft plan identifies a preliminary tax increase of 4.97% in the 2022 year;
- The City's 'Five-Year Financial Plan 2021-2025, Bylaw No. 5023' identified a planned increase of 4.97% in 2022;
- Council will review the tax burdens for each property classification at a future date;
- The plan will be reviewed and confirmed by Council throughout the financial planning process and a tentative schedule is outlined above, and may be subject to change if required;
- Council can balance the need to fund improvements in the community and continue current levels of service, while understanding the need to balance the impact of taxation to all tax payers in the community;
- Adoption of Council's Financial Plan must occur prior to May 15, 2022.

#### **ATTACHMENTS/REFERENCE MATERIALS**

- *"City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022"*
- *City of Port Alberni Draft Financial Plan 2022-2026 dated January 31, 2022*

**CITY OF PORT ALBERNI  
BYLAW NO. 5045**

**A BYLAW TO ESTABLISH A FIVE-YEAR FINANCIAL PLAN**

---

WHEREAS Section 165 of the *Community Charter* stipulates that a municipality must have a financial plan that is adopted on an annual basis;

NOW THEREFORE, the Municipal Council of the City of Port Alberni in open meeting assembled hereby enacts as follows:

1. Schedules 'A' & 'B' attached hereto and forming part of this Bylaw is hereby adopted and is the Financial Plan of the City of Port Alberni for the five-year period from January 1, 2022 to December 31, 2026.
2. This Bylaw may be cited for all purposes as "City of Port Alberni 2022 – 2026 Financial Plan Bylaw No. 5045, 2022" and shall become effective upon adoption.

**READ A FIRST TIME THIS            DAY OF            , 2022.**

**READ A SECOND TIME THIS            DAY OF            , 2022.**

**READ A THIRD TIME THIS            DAY            OF            , 2022.**

**FINALLY ADOPTED THIS            DAY            OF            2022.**

---


**Mayor**

---

**Corporate Officer**



## SCHEDULE A TO BYLAW NO. 5045

<div style="display: flex; justify-content: space-between; align-items: center;">  <div style="text-align: center;"> <b>CITY OF PORT ALBERNI</b>  <b>CONSOLIDATED FINANCIAL PLAN 2022-2026</b> </div> </div>					
	2022	2023	2024	2025	2026
<b>Revenue</b>					
<b>Taxes</b>					
Property Taxes	25,901,671	27,128,281	28,406,820	27,566,050	28,802,719
Other Taxes	761,391	761,391	761,391	761,391	761,391
Grants in Lieu of Taxes	233,955	233,955	233,955	233,955	233,955
<b>Fees and Charges</b>					
Sales of Service	3,922,909	3,933,787	4,062,725	4,153,079	4,250,911
Sales of Service/Utilities	7,239,244	7,571,611	7,864,810	8,039,794	8,466,442
Service to other Government	100,000	100,000	100,000	100,000	100,000
User Fees/Fines	494,500	498,325	502,184	506,077	510,006
<b>Rentals</b>	153,500	156,570	159,701	162,895	166,153
Interest/Penalties/Miscellaneous	717,875	722,321	727,185	732,180	737,198
Grants/Other Governments	1,095,840	1,095,840	1,095,840	1,095,840	1,095,840
Other Contributions	-	-	-	-	-
	<b>40,620,885</b>	<b>42,202,081</b>	<b>43,914,611</b>	<b>43,351,261</b>	<b>45,124,615</b>
<b>Expenses</b>					
Debt Interest	488,170	583,795	1,156,665	1,156,665	1,156,665
Capital Expenses	6,664,911	8,378,035	5,134,847	5,669,011	4,825,756
<b>Other Municipal Purposes</b>					
General Municipal	4,646,792	4,805,437	4,927,374	4,991,714	5,124,132
Police Services	8,073,162	8,272,325	8,586,906	8,808,923	9,015,162
Fire Services	4,071,596	4,159,882	4,253,744	4,347,765	4,440,348
Other Protective Services	361,030	265,551	265,566	265,586	265,606
Transportation Services	4,533,697	4,679,899	4,781,381	4,880,723	4,978,094
Environmental Health and Development	3,171,306	3,261,754	3,111,997	3,165,232	3,220,303
Parks and Recreation	5,612,854	5,896,628	6,082,829	6,227,902	6,317,130
Cultural	1,500,346	1,514,983	1,547,745	1,561,173	1,585,480
Water	1,882,171	1,821,187	1,849,216	1,879,195	1,910,090
Sewer	1,490,521	1,515,827	1,541,694	1,567,102	1,592,976
Contingency	200,000	200,000	200,000	200,000	200,000
	<b>42,696,556</b>	<b>45,355,303</b>	<b>43,439,964</b>	<b>44,720,991</b>	<b>44,631,742</b>
<b>Revenue Over (Under) Expenses Before Other</b>	<b>(2,075,671)</b>	<b>(3,153,222)</b>	<b>474,647</b>	<b>(1,369,730)</b>	<b>492,873</b>
<b>Other</b>					
Debt Proceeds	-	-	-	-	-
Debt Principal	(371,426)	(572,870)	(572,870)	(572,870)	(572,870)
Transfer from Equipment Replacement Reserve	1,023,600	2,577,960	1,896,817	904,521	1,441,674
Transfer from Land Sale Reserve	-	-	-	-	-
Transfer from Cemetery Trust	2,000	2,000	2,000	2,000	2,000
Transfer from (to) Reserves	1,421,497	(1,289,343)	(909,584)	1,062,710	(1,363,677)
	<b>2,075,671</b>	<b>717,747</b>	<b>416,363</b>	<b>1,396,361</b>	<b>(492,873)</b>
<b>Balanced Budget</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>



## **SCHEDULE B TO BYLAW NO. 5045 REVENUE POLICY DISCLOSURE**

### **Objectives and Policies**

The City of Port Alberni Corporate Strategic Plan provides municipal objectives and policy direction including strategic priorities in the areas of taxation, economic growth, and diversification.

Ongoing initiatives arising from these stated priorities relate directly to revenue generation, property taxation, and permissive tax exemptions. These are:

- Update and review regularly all fees and charges levied to maximize recovery of the cost of service delivery;
- Fund waste collection, sewer, and water utilities on a fee for service basis without contribution required from property taxation;
- Where it is strategic, market and sell City owned lands excess to needs;
- Ensure strategized initiatives and projects included in the corporate strategic plan are incorporated into the 2022-2026 financial plan to allow for successful implementation of corporate strategy
- Promote revitalization of the City's commercial areas;
- Undertake capital projects identified in the plan by a combination of use of general revenues, borrowing, senior government grant funding and reserve funding.

Considerable progress has been made on these policy directions as outlined in the City of Port Alberni's Annual Reports and Corporate Strategic Plan.

### **Proportion of Revenue from Funding Sources**

**Property Taxes** – The majority of the City of Port Alberni's revenue arises from property tax; about 67% [excluding grants and borrowings] in 2022. Property tax collected between 2018 and 2022 increased by 15.2% over that five-year period.

The 2022-2026 Financial Plan provides for a 4.97% increase in property taxes collected in 2022 moving to 4.74% in 2023 then remaining at approximately 4.7% in the final three years of the plan. The planned annual increases will allow for successful implementation of all corporate strategic priorities set out by Council in the 2019 Strategic Plan as well commitments to capital projects, collective bargaining agreements, and projects that require debt service.

<b>2022-2026 Annual Tax Rates</b>				
<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>
4.97%	4.74%	4.71%	4.71%	4.72%

**Parcel Taxes** – No new parcel tax levies are proposed in the 2022-2026 Financial Plan.

**Fees and Charges** – In 2022, approximately 30% of the City of Port Alberni's revenues will be derived from fees and charges.

Services funded through fees and charges include water and sewer utilities, solid waste collection and disposal, building inspection, cemetery operations and a portion of the parks, recreation, heritage and cultural services.

City Council has directed that where possible it is preferable to charge a user fee for services that are identifiable to specific users instead of levying a general tax to all property owners.

**Borrowing Proceeds** – The City borrows as needed to finance significant capital projects, with more routine capital work funded through general revenue and gas taxes. In 2022, borrowing in this financial plan is approximately \$8.5 Million [approved in September 2021].

**Other Sources** – Other revenue sources are rentals of City-owned property, interest/penalties, payments in lieu of taxes and grants from senior governments.

Revenue from rentals and interest and penalties remain consistent from year to year and comprises 1 - 3% of the City's total revenues. Grants from senior governments vary significantly from year to year depending on successful application for conditional funding.

**COVID-19 Safe Restart Grant for Local Governments** the City of Port Alberni received a \$3.5 million grant from the Province of British Columbia through the COVID-19 Safe Restart Grant for Local Governments program. The grant program uses a formula that incorporates a flat amount of \$169,000 with an "adjusted per-capita" amount of \$308.34 [2018 population of 18,803]. In 2020 and 2021, Council applied grant funding to revenue shortfalls, expense escalation due to COVID and specific measures to operate under COVID. In 2022, the remaining funds will be identified and Council will be asked to approve the allocations.

#### **Distribution of Property Taxes among Property Classes**

Council will provide the policy directions which will be incorporated in the 2022-2026 Financial Plan.

**Class 1 – Residential** The residential tax increase will also reflect 4.97% again as a commitment to successful implementation of the corporate strategic plan. Between 2005 and 2021 the share of property taxation paid by Class 1 increased from 40.0% to 60.0%. Council will consider the share of taxation paid by the residential class.

**Class 4 and 5 – Major Industry and Light Industry** In 2006, Council directed that significant tax reductions be provided for Class 4 [Major Industry] taxpayers over a five-year period in response to continued market weakness in the coastal forest industry and higher than average municipal tax rates for Major Industry in Port Alberni. These reductions were implemented in 2006. The City subsequently further committed that through 2013 to 2017 there would be no increase in taxes for Major Industry as part of the agreement to purchase Catalyst's sewage lagoon infrastructure. The above noted reductions and freezes resulted in the Major Industry share of taxation decreasing from 41.8% in 2005 to 22.5% in 2021.

For 2021, Class 4 and 5 taxes were delinked and the tax burden for these classes totaled 22.5%. Council will consider the share of taxation paid by Class 4 and 5 for 2022 to allocate the tax increase of 4.97%.

**Class 6 – Business** In committing to successful implementation of our corporate strategic plan business rates be reviewed to allocate the increase of 4.97%. Business property tax rates dropped from \$27 per thousand dollars in assessed value in 2005 to \$14.52 per thousand in 2021. Council will consider the share of taxation paid by Class 6 for 2022.

**Other Classes** Approximately 0.3% of total taxation arises from the other property classes in Port Alberni. Council will consider the share of taxation paid by other classes for 2022 to allocate the tax increase of 4.97%.

### **Permissive Tax Exemptions**

Permissive tax exemptions are provided by the City of Port Alberni as permitted under the *Community Charter* and in compliance with Council policy. Permissive tax exemptions must also fall within the budget constraints identified by Council to be considered for approval.

Generally, permissive tax exemptions are a means for Council to support organizations within the community which further Council's objectives of enhancing quality of life (economic, social, and cultural) and delivering services economically. Specifically, the policy allows for annual application by eligible organizations for permissive tax exemptions on the lands or buildings they occupy, and who provide for:

- athletic or recreational programs or facilities for youth;
- services and facilities for persons requiring additional supports; mental wellness and addictions;
- programming for youth and seniors;
- protection and maintenance of important community heritage;
- arts, cultural or educational programs or facilities;
- emergency or rescue services;
- services for the public in a formal partnership with the City or;
- preservation of an environmentally or ecologically sensitive area designated within the Official Community Plan;

Eligible organizations may be considered for tax exemptions exceeding one year (to a maximum of 10 years) where it is demonstrated that the services/benefits they offer to the community are of duration equal to or greater than the period of tax exemption).

Since 2005 Council has approved, on average, annual permissive tax exemptions for 34 organizations (not including places of public worship) with a total annual municipal property tax exemption value of approximately \$250,000. In 2021, 51 organizations were approved, with a total annual property tax exemption value of approximately \$250,000.

### **Revitalization Tax Exemptions**

Council adopted "City of Port Alberni Revitalization Tax Exemption Program, Bylaw No.4824" in 2013, an aggressive bylaw designed to encourage revitalization of the uptown area. Council amended the Bylaw in March 2016 to include Harbour Quay and City owned properties to the Schedule of eligible properties. Also, in 2016, Council adopted a new Revitalization Tax Exemption Bylaw covering all other commercial areas. Council's objective is to stimulate growth and development in the City's commercial areas by encouraging investment in new commercial space and improvements to existing commercial buildings. In 2020, one application was received and approved. This approved application experienced the first tax exemption in 2021 and is in effect for a period of five years [expires December 31, 2025].

### **Strategic Community Investment (SCI) and Traffic Fine Revenue Sharing (TFRS) Funds**

The Strategic Community Investment Fund Plan is an unconditional grant from the Province to municipalities to assist in provision of basic services. The Traffic Fine Revenue Sharing Fund returns net revenues from traffic violations to municipalities responsible for policing costs.

The City is expecting to receive approximately \$591,500 in 2022. Performance targets are not expected to change from 2021 to 2022. SCI and TFRS funds are allocated to general revenue to support local government service delivery.

### **Community Gaming Funding**

On October 23, 2007 the City of Port Alberni and the Province of BC signed the Host Financial Assistance Agreement providing for the transfer to the City (Host) of ten (10%) percent of net gaming revenue from the casino located within the City's boundaries. The budget assumes that the City of Port Alberni will continue to receive a share of gaming revenue through the five years of this financial plan. It should be noted that there is no long-term agreement in place with the Province.

Community gaming funds must be applied to Eligible Costs only. Eligible Costs are defined by the Province as "the costs and expenses incurred by the Host for any purpose that is of public benefit to the Host and within the lawful authority of the Host."

In 2020 and 2021, COVID-19 impacted the revenue received to support the annual funding to eligible costs. The draft plan continues the support of the eligible costs in 2022 with an expectation of normal funding through the entire year from the Host Financial Assistance Agreement.

<b>2021 Funding Allocation</b>	<b>Funds (\$) Allocated</b>
McLean Mill National Historic Site Operations	\$ 160,229
Visitor Centre Funding	87,411
Offset Economic Development	150,000
Community Investment Plan/Grants in Aid	48,200
<b>Total commitments</b>	<b>\$445,840</b>





**CITY OF PORT ALBERNI  
DRAFT  
FINANCIAL PLAN**

**2022-2026**

January 31, 2022



**CITY OF PORT ALBERNI  
CONSOLIDATED FINANCIAL PLAN 2022-2026**

	2022	2023	2024	2025	2026
<b>Revenue</b>					
Taxes					
Property Taxes	25,901,671	27,128,281	28,406,820	27,566,050	28,802,719
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	<u>40,620,885</u>	<u>42,202,081</u>	<u>43,914,611</u>	<u>43,351,261</u>	<u>45,124,615</u>
<b>Expenses</b>					
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Capital Expenses	6,664,911	8,378,035	5,134,847	5,669,011	4,825,756
Other Municipal Purposes					
General Municipal	4,646,792	4,805,437	4,927,374	4,991,714	5,124,132
Police Services	8,073,162	8,272,325	8,586,906	8,808,923	9,015,162
Fire Services	4,071,596	4,159,882	4,253,744	4,347,765	4,440,348
Other Protective Services	361,030	265,551	265,566	265,586	265,606
Transportation Services	4,533,697	4,679,899	4,781,381	4,880,723	4,978,094
Environmental Health and Development	3,171,306	3,261,754	3,111,997	3,165,232	3,220,303
Parks and Recreation	5,612,854	5,896,628	6,082,829	6,227,902	6,317,130
Cultural	1,500,346	1,514,983	1,547,745	1,561,173	1,585,480
Water	1,882,171	1,821,187	1,849,216	1,879,195	1,910,090
Sewer	1,490,521	1,515,827	1,541,694	1,567,102	1,592,976
Contingency	200,000	200,000	200,000	200,000	200,000
	<u>42,696,556</u>	<u>45,355,303</u>	<u>43,439,964</u>	<u>44,720,991</u>	<u>44,631,742</u>
<b>Revenue Over (Under) Expenses Before Other</b>	<u>(2,075,671)</u>	<u>(3,153,222)</u>	<u>474,647</u>	<u>(1,369,730)</u>	<u>492,873</u>
<b>Other</b>					
Debt Proceeds	-	-	-	-	-
Debt Principal	(371,426)	(572,870)	(572,870)	(572,870)	(572,870)
Transfer from Equipment Replacement Reserve	1,023,600	2,577,960	1,896,817	904,521	1,441,674
Transfer from Land Sale Reserve	-	-	-	-	-
Transfer from Cemetery Trust	2,000	2,000	2,000	2,000	2,000
Transfer from (to) Reserves	1,421,497	(1,289,343)	(909,584)	1,062,710	(1,363,677)
	<u>2,075,671</u>	<u>717,747</u>	<u>416,363</u>	<u>1,396,361</u>	<u>(492,873)</u>
<b>Balanced Budget</b>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>



**CITY OF PORT ALBERNI  
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2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
<b>REAL PROPERTY TAXES</b>											
11111 General Purposes - Taxes	24,463,807	25,690,000	5.01%	26,916,610	4.77%	28,195,149	4.75%	29,534,419	4.75%	30,937,304	4.75%
11112 Debt Purposes - Taxes	211,671	211,671	0.00%	211,671	0.00%	211,671	0.00%	211,671	0.00%	211,671	0.00%
<i>TAX LEVY</i>	24,675,478	25,901,671	4.97%	27,128,281	4.74%	28,406,820	4.71%	29,746,090	4.71%	31,148,975	4.72%
11211 Special Area Levy	14,500	14,650	1.03%	14,650	0.00%	14,650	0.00%	14,650	0.00%	14,650	0.00%
<i>SPECIAL ASSESSMENTS</i>	14,500	14,650	1.03%	14,650	0.00%	14,650	0.00%	14,650	0.00%	14,650	0.00%
11910 Utility Tax 1%	725,000	746,741	3.00%	746,741	0.00%	746,741	0.00%	746,741	0.00%	746,741	0.00%
<i>TAXES</i>	25,414,978	26,663,062	4.91%	27,889,672	4.60%	29,168,211	4.58%	30,507,481	4.59%	31,910,366	4.60%
<b>FEDERAL GOVERNMENT</b>											
12110 Federal Building Grant	500	575	15.00%	575	0.00%	575	0.00%	575	0.00%	575	0.00%
12210 CBC Grant	2,500	3,200	28.00%	3,200	0.00%	3,200	0.00%	3,200	0.00%	3,200	0.00%
<b>PROVINCIAL GOVERNMENT</b>											
12310 Provincial Government Grant	45,800	50,000	9.17%	50,000	0.00%	50,000	0.00%	50,000	0.00%	50,000	0.00%
12410 BC Hydro	111,000	100,000	-9.91%	100,000	0.00%	100,000	0.00%	100,000	0.00%	100,000	0.00%
12411 Public Housing Grant (in lieu of taxes)	60,000	80,000	33.33%	80,000	0.00%	80,000	0.00%	80,000	0.00%	80,000	0.00%
<b>OTHER ENTITIES</b>											
12910 University of Victoria	180	180	0.00%	180	0.00%	180	0.00%	180	0.00%	180	0.00%
<i>GRANTS IN LIEU OF TAXES</i>	219,980	233,955	6.35%	233,955	0.00%	233,955	0.00%	233,955	0.00%	233,955	0.00%
<b>SERVICES PROVIDED TO GOVERNMENT</b>											
13121 PRISONER EXPENSE RECOVERY	100,000	100,000	0.00%	100,000	0.00%	100,000	0.00%	100,000	0.00%	100,000	0.00%
<b>SALES OF SERVICES</b>											
14120 ADMINISTRATION SERVICE CHARGE	33,500	45,000	34.33%	45,000	0.00%	45,000	0.00%	45,000	0.00%	45,000	0.00%
14221 Law Enforcement Service Charge	129,252	141,500	9.48%	141,500	0.00%	141,500	0.00%	141,500	0.00%	141,520	0.01%
14241 Fire Department Service Charge	195,709	198,338	1.34%	203,490	2.60%	208,797	2.61%	214,263	2.62%	219,893	2.63%
<i>PROTECTIVE SERVICES</i>	324,961	339,838	4.58%	344,990	1.52%	350,297	1.54%	355,763	1.56%	361,413	1.59%
14310 Public Works Service Charge	77,600	77,600	0.00%	77,600	0.00%	77,600	0.00%	77,600	0.00%	77,600	0.00%
14400 Public Transit Revenue	201,063	288,230	43.35%	281,296	-2.41%	321,514	14.30%	346,968	7.92%	356,363	2.71%
<i>TRANSPORTATION SERVICES</i>	278,663	365,830	31.28%	358,896	-1.90%	399,114	11.21%	424,568	6.38%	433,963	2.21%
14433 Commercial Solid Waste Collection	13,000	10,000	-23.08%	-	-100.00%	-	0.00%	-	0.00%	-	0.00%
14434 Residential Solid Waste Collection	1,235,718	1,381,260	11.78%	1,356,260	-1.81%	1,383,385	2.00%	1,411,053	2.00%	1,439,274	2.00%
14434 Recycle BC Collection Incentive	271,128	287,239	5.94%	303,375	5.62%	306,409	1.00%	309,473	1.00%	312,568	1.00%
<i>CURBSIDE WASTE COLLECTION</i>	1,519,846	1,678,499	10.44%	1,659,635	-1.12%	1,689,794	1.82%	1,720,526	1.82%	1,751,842	1.82%
14516 PUBLIC HEALTH-CEMETERIES	61,200	66,600	8.82%	66,600	0.00%	66,600	0.00%	66,600	0.00%	66,600	0.00%
14550 PLANNING ADMINISTRATION	44,500	46,100	3.60%	46,712	1.33%	47,336	1.34%	47,973	1.35%	48,025	0.11%
14560 ECONOMIC DEVELOPMENT	146,833	8,500	-94.21%	8,500	0.00%	8,500	0.00%	8,500	0.00%	8,500	0.00%
14600 Marine Commercial Building	76,169	87,000	14.22%	88,740	2.00%	90,500	1.98%	92,325	2.02%	94,100	1.92%
14601 Port Building	23,247	26,000	11.84%	26,520	2.00%	27,050	2.00%	27,600	2.03%	28,200	2.17%
14602 Market Square	32,000	30,000	-6.25%	30,600	2.00%	31,200	1.96%	31,850	2.08%	32,500	2.04%
14690 A. H. Q. Miscellaneous Revenue	2,500	2,500	0.00%	2,500	0.00%	2,500	0.00%	2,500	0.00%	2,500	0.00%
<i>ALBERNI HARBOUR QUAY</i>	133,916	145,500	8.65%	148,360	1.97%	151,250	1.95%	154,275	2.00%	157,300	1.96%



**CITY OF PORT ALBERNI  
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	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
<b>RECREATION SERVICES</b>											
<b>RECREATION FACILITIES</b>											
14710 Gyro Youth Centre	4,000	6,000	50.00%	9,000	50.00%	9,500	5.56%	10,000	5.26%	10,500	5.00%
14712 Echo '67 Centre	211,650	206,121	-2.61%	215,520	4.56%	228,725	6.13%	241,950	5.78%	260,385	7.62%
14714 Glenwood Centre	30,000	39,600	32.00%	39,850	0.63%	40,250	1.00%	40,700	1.12%	41,100	0.98%
14716 Echo Aquatic Centre	41,925	42,344	1.00%	42,768	1.00%	43,195	1.00%	43,627	1.00%	44,200	1.31%
14718 AV Multiplex	465,000	388,356	-16.48%	399,285	2.81%	407,279	2.00%	412,826	1.36%	418,453	1.36%
14720 Stadium & Athletic Fields	21,500	29,683	38.06%	29,997	1.06%	30,382	1.28%	30,933	1.81%	31,456	1.69%
<b>RECREATION PROGRAMS</b>											
<b>SPORT PROGRAMS</b>											
14730 Glenwood Centre	1,500	3,090	106.00%	3,127	1.20%	3,156	0.93%	3,191	1.11%	3,227	1.13%
14732 Echo Aquatic Centre	190,000	89,000	-53.16%	93,500	5.06%	100,500	7.49%	108,000	7.46%	110,500	2.31%
14734 AV Multiplex	27,033	10,800	-60.05%	11,100	2.78%	11,400	2.70%	11,700	2.63%	12,000	2.56%
<b>LEISURE PROGRAMS</b>											
14738 Children's Programs	45,000	92,000	104.44%	95,000	3.26%	102,000	7.37%	104,000	1.96%	111,000	6.73%
14740 Youth Programs & Services	4,510	30,500	576.27%	32,000	4.92%	33,500	4.69%	35,000	4.48%	36,500	4.29%
14742 Adult Programs	25,000	49,000	96.00%	51,000	4.08%	53,000	3.92%	55,000	3.77%	57,000	3.64%
14750 Special Events	1,380	1,000	-27.54%	1,000	0.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%
<b>COMMUNITY SERVICES</b>											
14760 Community Services Misc Revenue	3,550	4,101	15.52%	5,500	34.11%	5,500	0.00%	5,500	0.00%	5,500	0.00%
14770 Contributions & Grants	167,688	128,447	-23.40%	128,447	0.00%	128,447	0.00%	128,447	0.00%	128,447	0.00%
<b>RECREATION SERVICES</b>	<b>1,239,736</b>	<b>1,120,042</b>	<b>-9.65%</b>	<b>1,157,094</b>	<b>3.31%</b>	<b>1,197,834</b>	<b>3.52%</b>	<b>1,231,874</b>	<b>2.84%</b>	<b>1,271,268</b>	<b>3.20%</b>
<b>CULTURAL SERVICES</b>											
<b>MUSEUM SERVICES</b>											
14810 Museum-Sales & Service	24,800	38,600	55.65%	29,600	-23.32%	38,600	30.41%	29,600	-23.32%	38,600	30.41%
14820 Museum-Federal Grants	3,400	3,400	0.00%	3,400	0.00%	3,400	0.00%	3,400	0.00%	3,400	0.00%
14830 Museum-Provincial Grants	455,000	65,000	-85.71%	65,000	0.00%	65,000	0.00%	65,000	0.00%	65,000	0.00%
<b>CULTURAL SERVICES</b>	<b>483,200</b>	<b>107,000</b>	<b>-77.86%</b>	<b>98,000</b>	<b>-8.41%</b>	<b>107,000</b>	<b>9.18%</b>	<b>98,000</b>	<b>-8.41%</b>	<b>107,000</b>	<b>9.18%</b>
<b>SALES OF SERVICES</b>	<b>4,266,355</b>	<b>3,922,909</b>	<b>-8.05%</b>	<b>3,933,787</b>	<b>0.28%</b>	<b>4,062,725</b>	<b>3.28%</b>	<b>4,153,079</b>	<b>2.22%</b>	<b>4,250,911</b>	<b>2.36%</b>
<b>OTHER REVENUE OWN SOURCES</b>											
15110 Business Licence Fees	130,000	165,000	26.92%	165,825	0.50%	166,654	0.50%	167,487	0.50%	168,325	0.50%
15160 Dog Licence Fees	10,000	11,000	10.00%	11,000	0.00%	11,000	0.00%	11,000	0.00%	11,000	0.00%
15170 Building & Plumbing Permit Fees	106,140	300,000	182.65%	303,000	1.00%	306,030	1.00%	309,090	1.00%	312,181	1.00%
15181 Other Const/Demolition Permit Fees	140	500	257.14%	500	0.00%	500	0.00%	500	0.00%	500	0.00%
15190 Vacant Bldg Registration Permit Fees	1,000	1,000	0.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%
<b>LICENCES &amp; PERMITS</b>	<b>247,280</b>	<b>477,500</b>	<b>93.10%</b>	<b>481,325</b>	<b>0.80%</b>	<b>485,184</b>	<b>0.80%</b>	<b>489,077</b>	<b>0.80%</b>	<b>493,006</b>	<b>0.80%</b>
15210 FINES & PARKING TICKETS	17,000	17,000	0.00%	17,000	0.00%	17,000	0.00%	17,000	0.00%	17,000	0.00%
15320 RENTALS	145,500	153,500	5.50%	156,570	2.00%	159,701	2.00%	162,895	2.00%	166,153	2.00%
15510 Interest On Investments	240,000	240,000	0.00%	240,000	0.00%	240,000	0.00%	240,000	0.00%	240,000	0.00%
15590 Other Interest	28,000	36,000	28.57%	36,000	0.00%	36,000	0.00%	36,000	0.00%	36,000	0.00%
<b>RETURN ON INVESTMENTS</b>	<b>268,000</b>	<b>276,000</b>	<b>2.99%</b>	<b>276,000</b>	<b>0.00%</b>	<b>276,000</b>	<b>0.00%</b>	<b>276,000</b>	<b>0.00%</b>	<b>276,000</b>	<b>0.00%</b>
15611 Current Tax Penalties	118,000	145,000	22.88%	145,000	0.00%	145,000	0.00%	145,000	0.00%	145,000	0.00%
15621 Arrears & Delinquent Tax Interest	45,100	48,600	7.76%	48,600	0.00%	48,600	0.00%	48,600	0.00%	48,600	0.00%
15625 Residential Garbage Penalties	11,400	16,500	44.74%	16,500	0.00%	16,830	2.00%	17,200	2.20%	17,500	1.74%
<b>PENALTIES &amp; INTEREST</b>	<b>174,500</b>	<b>210,100</b>	<b>20.40%</b>	<b>210,100</b>	<b>0.00%</b>	<b>210,430</b>	<b>0.16%</b>	<b>210,800</b>	<b>0.18%</b>	<b>211,100</b>	<b>0.14%</b>





**CITY OF PORT ALBERNI  
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	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
15930 Miscellaneous Revenue	192,700	203,500	5.60%	207,380	1.91%	211,338	1.91%	215,374	1.91%	219,492	1.91%
15940 Miscellaneous Revenue-IT Services	28,275	28,275	0.00%	28,841	2.00%	29,417	2.00%	30,006	2.00%	30,606	2.00%
<b>MISCELLANEOUS REVENUE</b>	<b>220,975</b>	<b>231,775</b>	<b>4.89%</b>	<b>236,221</b>	<b>1.92%</b>	<b>240,755</b>	<b>1.92%</b>	<b>245,380</b>	<b>1.92%</b>	<b>250,098</b>	<b>1.92%</b>
<b>OTHER REVENUE OWN SOURCES</b>	<b>1,073,255</b>	<b>1,365,875</b>	<b>27.26%</b>	<b>1,377,216</b>	<b>0.83%</b>	<b>1,389,070</b>	<b>0.86%</b>	<b>1,401,152</b>	<b>0.87%</b>	<b>1,413,357</b>	<b>0.87%</b>
<b>UNCONDITIONAL TRANSFERS OTHER GOV'T</b>											
<b>PROVINCIAL GOVERNMENT</b>											
16212 Small Community Protection Grant	288,700	235,000	-18.60%	235,000	0.00%	235,000	0.00%	235,000	0.00%	235,000	0.00%
16214 Revenue Sharing - Traffic Fines	302,800	345,000	13.94%	345,000	0.00%	345,000	0.00%	345,000	0.00%	345,000	0.00%
16215 Community Gaming Revenue	445,840	445,840	0.00%	445,840	0.00%	445,840	0.00%	445,840	0.00%	445,840	0.00%
<b>UNCOND TFRS OTHER GOV'T</b>	<b>1,037,340</b>	<b>1,025,840</b>	<b>-1.11%</b>	<b>1,025,840</b>	<b>0.00%</b>	<b>1,025,840</b>	<b>0.00%</b>	<b>1,025,840</b>	<b>0.00%</b>	<b>1,025,840</b>	<b>0.00%</b>
<b>CONDITIONAL TRANSFERS OTHER</b>											
18120 Grants/Contributions UBCM/FCM	-	-	0.00%	-	0.00%	-	0.00%	-	0.00%	-	0.00%
18121 Grants/Contributions Other	2,373,951	70,000	-97.05%	70,000	0.00%	70,000	0.00%	70,000	0.00%	70,000	0.00%
<b>CONDITIONAL TRANSFERS - OTHER</b>	<b>2,373,951</b>	<b>70,000</b>	<b>-97.05%</b>	<b>70,000</b>	<b>0.00%</b>	<b>70,000</b>	<b>0.00%</b>	<b>70,000</b>	<b>0.00%</b>	<b>70,000</b>	<b>0.00%</b>
<b>OTHER TRANSFERS &amp; COLLECTIONS</b>											
19110 Cemetery Trust Fund	2,000	2,000	0.00%	2,000	0.00%	2,000	0.00%	2,000	0.00%	2,000	0.00%
19114 Operating Funds From Prior Years	420,000	900,000	114.29%	400,000	-55.56%	400,000	0.00%	400,000	0.00%	400,000	0.00%
19115 Transfer from RCMP Surplus Reserve	256,180	191,462	-25.26%	194,799	1.74%	198,199	1.75%	201,660	1.75%	204,645	1.48%
<b>TRANSFERS FROM OWN RESERVES</b>	<b>678,180</b>	<b>1,093,462</b>	<b>61.23%</b>	<b>596,799</b>	<b>-45.42%</b>	<b>600,199</b>	<b>0.57%</b>	<b>603,660</b>	<b>0.58%</b>	<b>606,645</b>	<b>0.49%</b>
<b>COLLECTIONS FOR OTHER GOV'T</b>											
19811 Non-Residential School Tax	1,874,170	1,749,007	-6.68%	1,783,987	2.00%	1,819,867	2.00%	1,856,060	2.00%	1,893,181	2.00%
19812 Residential School Tax	3,166,722	4,380,106	38.32%	4,467,708	2.00%	4,557,062	2.00%	4,648,204	2.00%	4,741,168	2.00%
<b>COLLECTIONS FOR OTHER GOV'T</b>	<b>5,040,892</b>	<b>6,129,113</b>	<b>21.59%</b>	<b>6,251,695</b>	<b>2.00%</b>	<b>6,376,729</b>	<b>2.00%</b>	<b>6,504,264</b>	<b>2.00%</b>	<b>6,634,349</b>	<b>2.00%</b>
<b>REGIONAL GOVERNMENT</b>											
19820 Alberni-Clayoquot Regional Hosp Dist	700,665	680,000	-2.95%	686,800	1.00%	693,668	1.00%	700,605	1.00%	707,611	1.00%
19821 Alberni-Clayoquot Regional District	1,372,574	1,491,725	8.68%	1,506,642	1.00%	1,521,709	1.00%	1,536,926	1.00%	1,552,295	1.00%
<b>REGIONAL GOVERNMENT</b>	<b>2,073,239</b>	<b>2,171,725</b>	<b>4.75%</b>	<b>2,193,442</b>	<b>1.00%</b>	<b>2,215,377</b>	<b>1.00%</b>	<b>2,237,531</b>	<b>1.00%</b>	<b>2,259,906</b>	<b>1.00%</b>
<b>JOINT BOARDS AND COMMISSIONS</b>											
19830 Municipal Finance Authority	700.00	700	0.00%	700	0.00%	700	0.00%	700	0.00%	700	0.00%
19831 BC Assessment	181,000	182,810	1.00%	184,638	1.00%	186,484	1.00%	188,349	1.00%	190,000	0.88%
<b>JOINT BOARDS AND COMMISSIONS</b>	<b>181,700</b>	<b>183,510</b>	<b>1.00%</b>	<b>185,338</b>	<b>1.00%</b>	<b>187,184</b>	<b>1.00%</b>	<b>189,049</b>	<b>1.00%</b>	<b>190,700</b>	<b>0.87%</b>
<b>OTHER TRANSFERS, COLLECTIONS</b>	<b>7,295,831</b>	<b>8,484,348</b>	<b>16.29%</b>	<b>8,630,475</b>	<b>1.72%</b>	<b>8,779,290</b>	<b>1.72%</b>	<b>8,930,844</b>	<b>1.73%</b>	<b>9,084,955</b>	<b>1.73%</b>
<b>GENERAL FUND REVENUE</b>	<b>42,459,870</b>	<b>42,959,451</b>	<b>1.18%</b>	<b>43,857,744</b>	<b>2.09%</b>	<b>45,429,290</b>	<b>3.58%</b>	<b>47,026,011</b>	<b>3.51%</b>	<b>48,696,029</b>	<b>3.55%</b>



**CITY OF PORT ALBERNI  
GENERAL FUND - EXPENSE  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
<b>GENERAL GOVERNMENT SERVICE</b>											
<b>LEGISLATIVE</b>											
21110 Mayor	47,153	49,183	4.31%	68,473	39.22%	69,711	1.81%	71,095	1.99%	72,445	1.90%
21130 Council	125,393	139,263	11.06%	185,521	33.22%	189,136	1.95%	192,823	1.95%	196,585	1.95%
21190 Receptions and Other Services	39,000	34,000	-12.82%	34,260	0.76%	34,520	0.76%	34,785	0.77%	35,045	0.75%
<b>LEGISLATIVE</b>	<b>211,546</b>	<b>222,446</b>	<b>5.15%</b>	<b>288,254</b>	<b>29.58%</b>	<b>293,367</b>	<b>1.77%</b>	<b>298,703</b>	<b>1.82%</b>	<b>304,075</b>	<b>1.80%</b>
<b>GENERAL ADMINISTRATION</b>											
<b>ADMINISTRATIVE</b>											
21211 Chief Administrative Officer	213,636	185,751	-13.05%	238,699	28.50%	243,230	1.90%	250,852	3.13%	252,567	0.68%
21212 Corporate Services	562,541	599,424	6.56%	603,480	0.68%	614,524	1.83%	625,719	1.82%	637,100	1.82%
21215 Legal Services	20,000	25,000	25.00%	25,000	0.00%	25,000	0.00%	25,000	0.00%	25,000	0.00%
21216 Bylaw Enforcement	396,837	503,370	26.85%	512,048	1.72%	521,320	1.81%	530,785	1.82%	540,451	1.82%
22140 Parking Enforcement	25,000	25,000	0.00%	25,000	0.00%	25,000	0.00%	25,000	0.00%	25,000	0.00%
21217 Bylaw Enforcement Vehicles	14,756	14,820	0.43%	15,169	2.35%	15,401	1.53%	15,662	1.69%	15,935	1.74%
<b>FINANCIAL MANAGEMENT</b>											
21221 Financial Management Administration	817,639	898,099	9.84%	919,453	2.38%	936,309	1.83%	953,494	1.84%	971,024	1.84%
21225 External Audit	27,300	34,500	26.37%	30,000	-13.04%	30,600	2.00%	31,212	2.00%	31,836	2.00%
21226 Purchasing Administration	126,480	137,845	8.99%	140,205	1.71%	142,406	1.57%	144,665	1.59%	146,959	1.59%
21229 Other Financial Management	22,600	47,500	110.18%	55,000	15.79%	45,000	-18.18%	30,000	-33.33%	30,000	0.00%
<b>COMMON SERVICES</b>											
21222 Administration Vehicle	9,913	10,100	1.89%	10,261	1.59%	10,424	1.59%	10,590	1.59%	10,759	1.60%
21252 City Hall	160,073	116,727	-27.08%	118,540	1.55%	120,231	1.43%	122,122	1.57%	123,715	1.30%
21253 Other City Buildings	1,449	2,100	44.93%	2,100	0.00%	2,100	0.00%	2,100	0.00%	2,100	0.00%
21259 Other Common Services	449,203	462,500	2.96%	481,055	4.01%	516,040	7.27%	519,950	0.76%	525,342	1.04%
21260 Carbon Offsets	56,200	45,000	-19.93%	45,000	0.00%	45,000	0.00%	45,000	0.00%	45,000	0.00%
<b>INFORMATION SERVICES</b>											
21261 Information Services	733,309	751,625	2.50%	737,657	-1.86%	751,694	1.90%	766,032	1.91%	782,635	2.17%
<b>OTHER ADMINISTRATIVE SERVICES</b>											
21282 Appraisals	-	25,000		-		-		-		27,500	
21283 Personnel (Human Resources)	335,482	379,686	13.18%	412,795	8.72%	461,591	11.82%	469,374	1.69%	477,325	1.69%
21285 Employee Wellness (EFAP)	15,354	15,372	0.12%	15,499	0.83%	15,829	2.13%	15,962	0.84%	16,097	0.85%
<b>RECOVERIES</b>											
21290 Administration Services Recovered	(483,500)	(493,000)	1.96%	(503,000)	2.03%	(513,000)	1.99%	(523,000)	1.95%	(533,000)	1.91%
<b>GENERAL ADMINISTRATION</b>	<b>3,504,272</b>	<b>3,786,419</b>	<b>8.05%</b>	<b>3,883,961</b>	<b>2.58%</b>	<b>4,008,699</b>	<b>3.21%</b>	<b>4,060,519</b>	<b>1.29%</b>	<b>4,153,345</b>	<b>2.29%</b>
21911 Election Expense	-	25,240		-		-		-		27,325	
21920 Training and Development	108,911	148,937	36.75%	150,427	1.00%	153,433	2.00%	156,503	2.00%	159,280	1.77%
21925 Council Travel and Development	52,030	55,000	5.71%	71,100	29.27%	57,222	-19.52%	58,365	2.00%	59,500	1.94%
21930 Insurance	450,000	376,750	-16.28%	379,695	0.78%	382,653	0.78%	385,624	0.78%	388,607	0.77%
21931 Damage Claims	22,082	21,000	-4.90%	21,000	0.00%	21,000	0.00%	21,000	0.00%	21,000	0.00%
21950 Grants In Aid	11,000	11,000	0.00%	11,000	0.00%	11,000	0.00%	11,000	0.00%	11,000	0.00%
<b>OTHER GENERAL GOV'T SERVICES</b>	<b>644,023</b>	<b>637,927</b>	<b>-0.95%</b>	<b>633,222</b>	<b>-0.74%</b>	<b>625,308</b>	<b>-1.25%</b>	<b>632,492</b>	<b>1.15%</b>	<b>666,712</b>	<b>5.41%</b>
<b>GENERAL GOVERNMENT SERVICE</b>	<b>4,359,841</b>	<b>4,646,792</b>	<b>6.58%</b>	<b>4,805,437</b>	<b>3.41%</b>	<b>4,927,374</b>	<b>2.54%</b>	<b>4,991,714</b>	<b>1.31%</b>	<b>5,124,132</b>	<b>2.65%</b>
<b>PROTECTIVE SERVICES</b>											



**CITY OF PORT ALBERNI  
GENERAL FUND - EXPENSE  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
22121 Police Services Contract	5,831,524	6,053,092	3.80%	6,212,172	2.63%	6,489,287	4.46%	6,672,819	2.83%	6,840,864	2.52%
22122 Police Services Administration	937,056	1,139,285	21.58%	1,162,230	2.01%	1,183,303	1.81%	1,204,842	1.82%	1,226,751	1.82%
22123 Police Services Consulting	30,290	32,000	5.64%	33,000	3.13%	34,000	3.03%	35,000	2.94%	36,000	2.86%
22130 Community Policing	231,180	191,462	-17.18%	194,799	1.74%	198,199	1.75%	201,660	1.75%	204,645	1.48%
22160 Police Building Maintenance	162,168	145,283	-10.41%	147,806	1.74%	150,245	1.65%	152,730	1.65%	155,252	1.65%
22180 Detention & Custody of Prisoners	538,277	512,040	-4.87%	522,318	2.01%	531,872	1.83%	541,872	1.88%	551,650	1.80%
<b>POLICE PROTECTION</b>	<b>7,730,495</b>	<b>8,073,162</b>	<b>4.43%</b>	<b>8,272,325</b>	<b>2.47%</b>	<b>8,586,906</b>	<b>3.80%</b>	<b>8,808,923</b>	<b>2.59%</b>	<b>9,015,162</b>	<b>2.34%</b>
22411 Fire Protection Administration	377,039	382,873	1.55%	389,532	1.74%	397,115	1.95%	405,097	2.01%	412,787	1.90%
22421 Fire Crew	2,806,841	2,906,820	3.56%	2,970,869	2.20%	3,036,554	2.21%	3,103,791	2.21%	3,171,886	2.19%
22422 Personnel Expense	51,562	52,077	1.00%	52,597	1.00%	53,649	2.00%	54,722	2.00%	55,816	2.00%
22431 Communication System	11,956	8,500	-28.91%	8,560	0.71%	8,731	2.00%	8,906	2.00%	9,084	2.00%
22440 Fire Investigation	1,015	2,000	97.04%	2,000	0.00%	2,000	0.00%	2,000	0.00%	2,000	0.00%
22441 Fire Prevention	163,205	177,279	8.62%	181,264	2.25%	185,388	2.28%	189,614	2.28%	193,932	2.28%
22471 Fire Building Maintenance	61,981	87,713	41.52%	88,283	0.65%	90,203	2.17%	90,952	0.83%	92,328	1.51%
22480 Vehicle Repair & Maintenance	366,611	386,778	5.50%	398,299	2.98%	410,129	2.97%	422,315	2.97%	430,740	1.99%
22481 Sundry Equipment Repair & Mtce	26,204	26,999	3.03%	27,269	1.00%	27,814	2.00%	27,814	0.00%	28,370	2.00%
22482 Fire Fighting Tools/Supplies Purchases	39,368	40,557	3.02%	41,209	1.61%	42,161	2.31%	42,554	0.93%	43,405	2.00%
<b>FIRE PROTECTION</b>	<b>3,905,782</b>	<b>4,071,596</b>	<b>4.25%</b>	<b>4,159,882</b>	<b>2.17%</b>	<b>4,253,744</b>	<b>2.26%</b>	<b>4,347,765</b>	<b>2.21%</b>	<b>4,440,348</b>	<b>2.13%</b>
22510 Emergency Program (Tsunami Warning)	550	570	3.64%	585	2.63%	600	2.56%	620	3.33%	640	3.23%
22921 Building & Plumbing Inspection	109,830	207,250	88.70%	237,166	14.43%	241,477	1.82%	245,804	1.79%	250,191	1.78%
22926 Building Inspector Vehicle	3,808	3,946	3.62%	4,044	2.48%	4,097	1.31%	4,149	1.27%	4,217	1.64%
22931 Animal Control Services Contract	151,328	149,264	-1.36%	149,268	0.00%	149,733	0.31%	149,738	0.00%	149,742	0.00%
<b>OTHER PROTECTION</b>	<b>264,966</b>	<b>360,460</b>	<b>36.04%</b>	<b>264,966</b>	<b>-26.49%</b>	<b>264,966</b>	<b>0.00%</b>	<b>264,966</b>	<b>0.00%</b>	<b>264,966</b>	<b>0.00%</b>
<b>PROTECTIVE SERVICES</b>	<b>11,901,793</b>	<b>12,505,788</b>	<b>5.07%</b>	<b>12,697,758</b>	<b>1.54%</b>	<b>13,106,216</b>	<b>3.22%</b>	<b>13,422,274</b>	<b>2.41%</b>	<b>13,721,116</b>	<b>2.23%</b>
<b>TRANSPORTATION SERVICE</b>											
<b>COMMON SERVICES</b>											
23110 Engineering Administration	608,360	744,065	22.31%	757,845	1.85%	770,774	1.71%	783,859	1.70%	797,299	1.71%
23121 Engineering Consulting Services	50,000	50,000	0.00%	50,000	0.00%	50,000	0.00%	50,000	0.00%	50,000	0.00%
<b>PUBLIC WORKS ADMINISTRATION</b>											
23129 Clerical & Reception-Operation	116,017	126,145	8.73%	128,455	1.83%	130,604	1.67%	132,812	1.69%	135,052	1.69%
23130 Supervision Operations	347,573	456,660	31.39%	465,221	1.87%	473,716	1.83%	482,391	1.83%	491,223	1.83%
23134 Small Tools/Equipment/Supplies	45,328	41,819	-7.74%	42,664	2.02%	43,492	1.94%	44,338	1.95%	45,203	1.95%
23136 Works Yard Maintenance	70,748	114,299	61.56%	116,291	1.74%	117,896	1.38%	119,558	1.41%	121,198	1.37%
23137 Main Building Maintenance	98,707	166,773	68.96%	170,164	2.03%	173,378	1.89%	176,650	1.89%	179,989	1.89%
23138 Shop Overhead	96,498	76,955	-20.25%	78,152	1.56%	79,267	1.43%	79,267	0.00%	80,406	1.44%
23160 General Equipment Maintenance	731,230	666,224	-8.89%	675,554	1.40%	684,607	1.34%	693,819	1.35%	703,191	1.35%
23161 Vehicle Maintenance & Replacement	14,242	11,987	-15.83%	12,193	1.72%	12,403	1.72%	12,617	1.73%	12,835	1.73%
23162 Supv Vehicle Mtce & Replacement	30,514	35,756	17.18%	36,471	2.00%	37,201	2.00%	37,945	2.00%	38,703	2.00%
<b>COMMON SERVICES</b>	<b>2,209,217</b>	<b>2,490,683</b>	<b>12.74%</b>	<b>2,533,010</b>	<b>1.70%</b>	<b>2,573,338</b>	<b>1.59%</b>	<b>2,613,256</b>	<b>1.55%</b>	<b>2,655,099</b>	<b>1.60%</b>
<b>ROAD TRANSPORTATION</b>											
<b>ROADS AND STREETS</b>											
23205 Customer Service Requests-Streets	33,372	18,198	-45.47%	18,539	1.87%	18,851	1.68%	19,166	1.67%	19,490	1.69%
23210 Small Tools/Supplies-Streets	9,886	12,226	23.67%	12,441	1.76%	12,638	1.58%	12,839	1.59%	13,046	1.61%
23220 Streets Inspections	71,035	42,006	-40.87%	42,811	1.92%	43,547	1.72%	44,293	1.71%	45,057	1.72%



**CITY OF PORT ALBERNI  
GENERAL FUND - EXPENSE  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
23231 Roadway Surfaces Maintenance	636,620	682,640	7.23%	696,396	2.02%	709,671	1.91%	723,214	1.91%	737,011	1.91%
23233 Road Allowance Maintenance	278,499	341,067	22.47%	347,755	1.96%	354,032	1.81%	360,491	1.82%	366,072	1.55%
23234 New Driveway Crossings	22,170	14,341	-35.31%	14,481	0.98%	14,607	0.87%	14,737	0.89%	14,869	0.90%
23236 Street Sweeping	164,423	244,174	48.50%	249,093	2.01%	253,892	1.93%	258,778	1.92%	263,755	1.92%
23237 Snow & Ice Removal	192,977	198,088	2.65%	202,075	2.01%	206,004	1.94%	210,009	1.94%	214,098	1.95%
<b>BRIDGES AND RETAINING WALLS</b>											
23241 Bridges & Retaining Walls	43,655	25,400	-41.82%	25,908	2.00%	26,426	2.00%	26,955	2.00%	27,494	2.00%
<b>STREET LIGHTING</b>											
23250 Overhead & Decorative Lighting	311,035	314,181	1.01%	321,783	2.42%	329,571	2.42%	337,548	2.42%	345,719	2.42%
23261 Signs & Traffic Marking	225,557	242,875	7.68%	247,761	2.01%	252,456	1.89%	257,266	1.91%	262,151	1.90%
23264 Traffic & Railroad Signals	12,748	10,060	-21.09%	10,261	2.00%	10,466	2.00%	10,676	2.01%	10,889	2.00%
<b>PARKING</b>											
23272 Off-Street Parking	14,500	14,500	0.00%	14,790	2.00%	15,086	2.00%	15,388	2.00%	15,695	2.00%
<b>OTHER</b>											
23291 Gravel	206,227	188,940	-8.38%	192,732	2.01%	196,514	1.96%	200,377	1.97%	204,304	1.96%
<b>ROADS &amp; STREETS</b>	<b>2,222,704</b>	<b>2,348,696</b>	<b>5.67%</b>	<b>2,396,826</b>	<b>2.05%</b>	<b>2,443,761</b>	<b>1.96%</b>	<b>2,491,737</b>	<b>1.96%</b>	<b>2,539,650</b>	<b>1.92%</b>
<b>STORM DRAINAGE</b>											
<b>OPEN DRAINAGE</b>											
23311 Ditch, Creek & Dyke Maintenance	100,880	68,543	-32.05%	69,932	2.03%	71,259	1.90%	72,615	1.90%	73,999	1.91%
<b>STORM SEWERS</b>											
23331 Storm Sewer Maintenance	116,722	130,436	11.75%	133,060	2.01%	135,548	1.87%	138,098	1.88%	140,688	1.88%
23333 Storm Sewer Pump Station	8,970	9,240	3.01%	9,423	1.98%	9,605	1.93%	9,792	1.95%	9,981	1.93%
23335 Storm Sewer Connections	89,360	121,795	36.30%	144,720	18.82%	147,449	1.89%	150,252	1.90%	153,083	1.88%
<b>STORM DRAINAGE</b>	<b>315,932</b>	<b>330,014</b>	<b>4.46%</b>	<b>357,135</b>	<b>8.22%</b>	<b>363,861</b>	<b>1.88%</b>	<b>370,757</b>	<b>1.90%</b>	<b>377,751</b>	<b>1.89%</b>
<b>OTHER COMMON SERVICES</b>											
23881 Training Program	39,944	39,371	-1.43%	40,158	2.00%	40,962	2.00%	41,781	2.00%	42,616	2.00%
23882 Safety	42,376	29,766	-29.76%	30,365	2.01%	30,958	1.95%	31,562	1.95%	32,178	1.95%
23884 Special Streets Work Orders	8,178	2,935	-64.11%	2,950	0.51%	2,964	0.47%	2,979	0.51%	2,994	0.50%
<b>OTHER COMMON SERVICES</b>	<b>90,498</b>	<b>72,072</b>	<b>-20.36%</b>	<b>73,473</b>	<b>1.94%</b>	<b>74,884</b>	<b>1.92%</b>	<b>76,322</b>	<b>1.92%</b>	<b>77,788</b>	<b>1.92%</b>
<b>OTHER</b>											
23510 PUBLIC TRANSIT	976,629	1,016,832	4.12%	1,077,555	5.97%	1,119,137	3.86%	1,155,151	3.22%	1,189,806	3.00%
<b>RECOVERIES</b>											
23951 General Overhead Recovery	(875,000)	(893,000)	2.06%	(910,000)	1.90%	(930,000)	2.20%	(947,000)	1.83%	(967,000)	2.11%
23952 Main Building Expense Recovery	(24,900)	(24,000)	-3.61%	(24,000)	0.00%	(24,000)	0.00%	(24,000)	0.00%	(24,000)	0.00%
23953 Shop Overhead Recovery	(105,700)	(107,800)	1.99%	(109,900)	1.95%	(112,100)	2.00%	(114,000)	1.69%	(115,000)	0.88%
23958 Equipment Charges Recovery	(576,300)	(587,800)	2.00%	(600,000)	2.08%	(611,000)	1.83%	(623,000)	1.96%	(636,000)	2.09%
23959 Gravel Cost Recovery	(110,000)	(112,000)	1.82%	(114,200)	1.96%	(116,500)	2.01%	(118,500)	1.72%	(120,000)	1.27%
<b>RECOVERIES</b>	<b>(1,691,900)</b>	<b>(1,724,600)</b>	<b>1.93%</b>	<b>(1,758,100)</b>	<b>1.94%</b>	<b>(1,793,600)</b>	<b>2.02%</b>	<b>(1,826,500)</b>	<b>1.83%</b>	<b>(1,862,000)</b>	<b>1.94%</b>
<b>TRANSPORTATION SERVICE</b>	<b>4,123,080</b>	<b>4,533,697</b>	<b>9.96%</b>	<b>4,679,899</b>	<b>3.22%</b>	<b>4,781,381</b>	<b>2.17%</b>	<b>4,880,723</b>	<b>2.08%</b>	<b>4,978,094</b>	<b>2.00%</b>
<b>ENVIRONMENTAL HEALTH SERVICES</b>											
<b>SOLID WASTE COLLECTION</b>											
24320 Residential Waste Collection	907,500	928,988	2.37%	945,621	1.79%	963,701	1.91%	982,125	1.91%	1,000,905	1.91%





**CITY OF PORT ALBERNI  
GENERAL FUND - EXPENSE  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
24322 Solid Waste Containers Purchase & Mtce	7,812	15,500	98.41%	15,500	0.00%	15,500	0.00%	15,500	0.00%	15,500	0.00%
24323 Solid Waste Disposal Fees	491,270	525,000	6.87%	575,000	9.52%	586,500	2.00%	598,230	2.00%	610,195	2.00%
24324 City Facility Solid Waste Collection	48,514	12,000	-75.26%	12,240	2.00%	12,485	2.00%	12,734	1.99%	12,989	2.00%
<b>ENVIRONMENTAL HEALTH</b>	<b>1,455,096</b>	<b>1,481,488</b>	<b>1.81%</b>	<b>1,548,361</b>	<b>4.51%</b>	<b>1,578,186</b>	<b>1.93%</b>	<b>1,608,589</b>	<b>1.93%</b>	<b>1,639,589</b>	<b>1.93%</b>
<b>PUBLIC HEALTH</b>											
25161 Cemetery Maintenance	16,004	16,239	1.47%	16,485	1.51%	16,736	1.52%	16,991	1.52%	17,251	1.53%
25162 Intermments	37,577	39,274	4.52%	40,059	2.00%	40,861	2.00%	41,678	2.00%	42,511	2.00%
25163 Memorial Marker Installation	15,125	24,353	61.01%	24,844	2.02%	25,321	1.92%	25,809	1.93%	26,308	1.93%
<b>CEMETERIES</b>	<b>68,706</b>	<b>79,866</b>	<b>16.24%</b>	<b>81,388</b>	<b>1.91%</b>	<b>82,918</b>	<b>1.88%</b>	<b>84,478</b>	<b>1.88%</b>	<b>86,070</b>	<b>1.88%</b>
<b>PUBLIC HEALTH</b>	<b>68,706</b>	<b>79,866</b>	<b>16.24%</b>	<b>81,388</b>	<b>1.91%</b>	<b>82,918</b>	<b>1.88%</b>	<b>84,478</b>	<b>1.88%</b>	<b>86,070</b>	<b>1.88%</b>
<b>DEVELOPMENT SERVICES</b>											
26129 Planning Administration	572,510	662,860	15.78%	674,531	1.76%	685,774	1.67%	697,268	1.68%	708,949	1.68%
26132 Consulting Services - OCP - Somass	75,000	200,000	166.67%	200,000	-	-	-	-	-	-	-
<b>RESEARCH AND PLANNING</b>	<b>647,510</b>	<b>862,860</b>	<b>33.26%</b>	<b>874,531</b>	<b>1.35%</b>	<b>685,774</b>	<b>-21.58%</b>	<b>697,268</b>	<b>1.68%</b>	<b>708,949</b>	<b>1.68%</b>
26234 Business Development	80,000	80,000	0.00%	80,000	0.00%	80,000	0.00%	80,000	0.00%	80,000	0.00%
26235 Economic Development	526,635	382,138	-27.44%	388,988	1.79%	393,249	1.10%	400,424	1.82%	407,483	1.76%
26237 Community Serv-Community Inv Program	33,200	33,200	0.00%	33,200	0.00%	33,200	0.00%	33,200	0.00%	33,200	0.00%
26238 Community Serv-Community Engagement	500	500	0.00%	500	0.00%	500	0.00%	500	0.00%	500	0.00%
<b>COMMUNITY DEVELOPMENT</b>	<b>640,335</b>	<b>495,838</b>	<b>-22.57%</b>	<b>502,688</b>	<b>1.38%</b>	<b>506,949</b>	<b>0.85%</b>	<b>514,124</b>	<b>1.42%</b>	<b>521,183</b>	<b>1.37%</b>
26701 Alberni Harbour Quay Overhead	18,000	18,360	2.00%	18,727	2.00%	19,102	2.00%	19,484	2.00%	19,873	2.00%
26770 Harbour Quay - Buildings Maintenance	101,809	143,727	41.17%	146,000	1.58%	148,168	1.48%	150,389	1.50%	152,639	1.50%
<b>ALBERNI HARBOUR QUAY</b>	<b>119,809</b>	<b>162,087</b>	<b>35.29%</b>	<b>164,727</b>	<b>1.63%</b>	<b>167,270</b>	<b>1.54%</b>	<b>169,873</b>	<b>1.56%</b>	<b>172,512</b>	<b>1.55%</b>
<b>OTHER ENVIRONMENTAL DEVELOPMENT</b>											
26810 Security Lighting Incentive Program	25,000	-	-100.00%	-	-	-	-	-	-	-	-
26911 Chamber of Commerce Visitor Centre	88,285	89,167	1.00%	90,059	1.00%	90,900	0.93%	90,900	0.00%	92,000	1.21%
<b>OTHER</b>	<b>113,285</b>	<b>89,167</b>	<b>-21.29%</b>	<b>90,059</b>	<b>1.00%</b>	<b>90,900</b>	<b>0.93%</b>	<b>90,900</b>	<b>0.00%</b>	<b>92,000</b>	<b>1.21%</b>
<b>ENVIRONMENTAL DEVELOPMENT</b>	<b>1,520,939</b>	<b>1,609,952</b>	<b>5.85%</b>	<b>1,632,005</b>	<b>1.37%</b>	<b>1,450,893</b>	<b>-11.10%</b>	<b>1,472,165</b>	<b>1.47%</b>	<b>1,494,644</b>	<b>1.53%</b>
<b>PARKS, RECREATION &amp; HERITAGE RECREATION FACILITIES ADMINISTRATION</b>											
27110 Parks, Recreation & Heritage Mgmt Serv	593,541	550,826	-7.20%	560,389	1.74%	569,515	1.63%	580,375	1.91%	591,316	1.89%
<b>COMMUNITY CENTRES AND HALLS</b>											
27120 Gyro Youth Centre Maintenance	53,515	59,349	10.90%	60,394	1.76%	61,372	1.62%	62,373	1.63%	63,397	1.64%
27126 Glenwood Skate Shop	2,000	1,560	-22.00%	1,590	1.92%	1,625	2.20%	1,650	1.54%	1,675	1.52%
27128 Glenwood Centre Maintenance	105,666	74,695	-29.31%	76,227	2.05%	77,720	1.96%	79,249	1.97%	80,804	1.96%
27129 Bob Dailey Stadium	9,739	19,397	99.17%	19,790	2.03%	20,161	1.87%	20,541	1.88%	20,930	1.89%
27130 Echo Activity Centre Maintenance	390,014	258,986	-33.60%	264,276	2.04%	269,416	1.94%	274,647	1.94%	279,988	1.94%
27134 Echo Aquatic Maintenance	445,326	456,698	2.55%	465,939	2.02%	474,931	1.93%	484,091	1.93%	486,247	0.45%
27140 AV Multiplex Concessions	44,938	160,607	257.40%	161,502	0.56%	162,335	0.52%	163,173	0.52%	164,045	0.53%
27142 AV Multiplex Skate Shop	8,958	4,000	-55.35%	1,000	-75.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%
27144 AV Multiplex Maintenance	812,776	911,714	12.17%	930,233	2.03%	948,321	1.94%	966,762	1.94%	974,196	0.77%
27146 Parks Building & Fieldhouses	99,078	109,834	10.86%	112,046	2.01%	114,240	1.96%	116,475	1.96%	118,758	1.96%
27148 Echo Park Complex	64,746	64,622	-0.19%	65,951	2.06%	67,247	1.97%	68,575	1.97%	69,925	1.97%



**CITY OF PORT ALBERNI  
GENERAL FUND - EXPENSE  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
<b>RECREATION PROGRAMS</b>											
<b>SPORT PROGRAMS</b>											
27156 Glenwood Centre Programs	1,773	10,000	464.02%	10,200	2.00%	10,404	2.00%	10,612	2.00%	10,824	2.00%
27160 Echo Aquatic Programs	510,000	619,377	21.45%	678,172	9.49%	690,755	1.86%	708,489	2.57%	721,653	1.86%
27163 AV Multiplex Programs	175,000	223,899	27.94%	279,297	24.74%	284,436	1.84%	289,655	1.83%	295,147	1.90%
<b>LEISURE PROGRAMS</b>											
27166 Leisure Service Programs	185,000	171,892	-7.09%	175,438	2.06%	178,677	1.85%	181,961	1.84%	185,357	1.87%
27170 Youth Services and Programs	10,000	56,995	469.95%	63,088	10.69%	66,144	4.84%	70,209	6.15%	72,784	3.67%
27173 Children's Programs	50,000	61,354	22.71%	63,576	3.62%	65,785	3.47%	67,997	3.36%	70,212	3.26%
27180 Adult Programs	30,000	15,000	-50.00%	15,000	0.00%	15,000	0.00%	15,000	0.00%	15,000	0.00%
<b>SPECIAL EVENTS</b>											
27190 Special Events	17,125	21,000	22.63%	22,050	5.00%	22,100	0.23%	22,150	0.23%	22,200	0.23%
27198 Vehicle Maintenance & Repair	10,880	13,564	24.67%	13,835	2.00%	14,112	2.00%	14,394	2.00%	14,682	2.00%
<b>RECREATION FACILITIES &amp; PROGRAMS</b>	<b>3,620,075</b>	<b>3,865,369</b>	<b>6.78%</b>	<b>4,039,993</b>	<b>4.52%</b>	<b>4,115,296</b>	<b>1.86%</b>	<b>4,199,378</b>	<b>2.04%</b>	<b>4,260,140</b>	<b>1.45%</b>
<b>PARKS AND PLAYGROUNDS</b>											
27210 Parks & Facility Management Services	263,250	282,398	7.27%	287,612	1.85%	292,925	1.85%	298,344	1.85%	303,871	1.85%
27215 Parks Maintenance	952,933	1,009,863	5.97%	1,107,566	9.67%	1,185,585	7.04%	1,234,617	4.14%	1,250,553	1.29%
27220 Horticultural Services	212,428	341,916	60.96%	348,869	2.03%	355,539	1.91%	362,364	1.92%	369,345	1.93%
27225 Vehicles & Equipment Mtce & Repair	175,918	152,261	-13.45%	153,226	0.63%	157,315	2.67%	158,953	1.04%	160,426	0.93%
27230 Parks Upgrading	89,695	52,942	-40.98%	53,095	0.29%	71,777	35.19%	71,766	-0.02%	72,265	0.70%
27499 Equipment Recovery	(90,093)	(91,895)	2.00%	(93,733)	2.00%	(95,608)	2.00%	(97,520)	2.00%	(99,470)	2.00%
<b>PARKS &amp; PLAYGROUNDS</b>	<b>1,604,131</b>	<b>1,747,485</b>	<b>8.94%</b>	<b>1,856,635</b>	<b>6.25%</b>	<b>1,967,533</b>	<b>5.97%</b>	<b>2,028,524</b>	<b>3.10%</b>	<b>2,056,990</b>	<b>1.40%</b>
<b>CULTURAL SERVICES</b>											
27510 Museum Services	237,100	222,159	-6.30%	228,679	2.93%	242,466	6.03%	236,331	-2.53%	240,276	1.67%
27515 Museum Programs-Curatorial	18,498	54,500	194.63%	55,540	1.91%	56,601	1.91%	57,683	1.91%	58,786	1.91%
27516 Museum Programs-Permanent Exhibits	6,833	3,000	-56.10%	3,060	2.00%	3,121	1.99%	3,184	2.02%	3,247	1.98%
27517 Museum Programs-Temporary Exhibits	37,632	28,200	-25.06%	28,200	0.00%	28,200	0.00%	28,200	0.00%	28,200	0.00%
27530 Industrial Collections	35,935	39,188	9.05%	39,128	-0.15%	39,580	1.16%	39,847	0.67%	40,120	0.69%
27550 Museum Maintenance	66,009	89,581	35.71%	91,400	2.03%	93,179	1.95%	94,992	1.95%	96,843	1.95%
27600 Vancouver Island Regional Library	804,622	839,444	4.33%	853,208	1.64%	877,353	2.83%	902,183	2.83%	927,714	2.83%
27700 McLean Mill Operator Agreement	150,000	150,000	0.00%	140,000	-6.67%	130,000	-7.14%	120,000	-7.69%	110,000	-8.33%
27710 McLean Mill City operations	70,000	74,274	6.11%	75,768	2.01%	77,245	1.95%	78,753	1.95%	80,294	1.96%
<b>CULTURAL SERVICES</b>	<b>1,426,629</b>	<b>1,500,346</b>	<b>5.17%</b>	<b>1,514,983</b>	<b>0.98%</b>	<b>1,547,745</b>	<b>2.16%</b>	<b>1,561,173</b>	<b>0.87%</b>	<b>1,585,480</b>	<b>1.56%</b>
<b>RECREATION &amp; CULTURAL</b>	<b>6,650,835</b>	<b>7,113,200</b>	<b>6.95%</b>	<b>7,411,611</b>	<b>4.20%</b>	<b>7,630,574</b>	<b>2.95%</b>	<b>7,789,075</b>	<b>2.08%</b>	<b>7,902,610</b>	<b>1.46%</b>
<b>TOTAL OPERATIONS EXPENSES</b>	<b>30,080,290</b>	<b>32,979,978</b>	<b>9.64%</b>	<b>33,841,108</b>	<b>2.61%</b>	<b>34,552,694</b>	<b>2.10%</b>	<b>35,253,685</b>	<b>2.03%</b>	<b>35,961,765</b>	<b>2.01%</b>
<b>INTEREST &amp; DEBT SERVICING</b>											
28115 Interest on Prepaid Taxes	9,000	9,000	0.00%	9,000	0.00%	9,000	0.00%	9,000	0.00%	9,000	0.00%
28121 Interest Payments on Debentures	91,203	87,490	-4.07%	87,490	0.00%	87,490	0.00%	87,490	0.00%	87,490	0.00%
28131 Principal Payments on Debentures	120,468	120,468	0.00%	120,468	0.00%	120,468	0.00%	120,468	0.00%	120,468	0.00%
28193 Banking Service Charges	6,500	8,000	23.08%	8,100	1.25%	8,200	1.23%	8,300	1.22%	8,400	1.20%
<b>FINANCING &amp; BANK FEES</b>	<b>227,171</b>	<b>224,958</b>	<b>-0.97%</b>	<b>225,058</b>	<b>0.04%</b>	<b>225,158</b>	<b>0.04%</b>	<b>225,258</b>	<b>0.04%</b>	<b>225,358</b>	<b>0.04%</b>
<b>TOTAL OPERATIONS AND DEBT SERVICING</b>	<b>30,307,461</b>	<b>33,204,936</b>	<b>9.56%</b>	<b>34,066,166</b>	<b>2.59%</b>	<b>34,777,852</b>	<b>2.09%</b>	<b>35,478,943</b>	<b>2.02%</b>	<b>36,187,123</b>	<b>2.00%</b>
<b>TRANSFERS TO RESERVES</b>											
28910 Debt Reserve Fund Transfer	15,000	15,000	0.00%	15,000	0.00%	15,000	0.00%	15,000	0.00%	15,000	0.00%



**CITY OF PORT ALBERNI  
GENERAL FUND - EXPENSE  
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	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
28222 Transfer to Equipment Replacement	34,000	34,000	0.00%	34,000	0.00%	34,000	0.00%	34,000	0.00%	34,000	0.00%
28230 Parks and Rec Reserve (NMC contribution)	148,926	-	-100.00%	-	-	-	-	-	-	-	-
28230 Transfer to Capital Works Reserve	289,652	70,000	-75.83%	70,000	0.00%	70,000	0.00%	70,000	0.00%	70,000	0.00%
<b>RESERVE TRANSFERS</b>	<b>487,578</b>	<b>119,000</b>	<b>-75.59%</b>	<b>119,000</b>	<b>0.00%</b>	<b>119,000</b>	<b>0.00%</b>	<b>119,000</b>	<b>0.00%</b>	<b>119,000</b>	<b>0.00%</b>
<b>TRANSFERS TO GENERAL CAPITAL RES.</b>											
28220 Projects TBD Council Direction	-	-	-	(1,249,808)	-	(384,882)	-69.20%	272,634	-170.84%	2,460,769	802.59%
Administration	-	-	-	-	-	-	-	-	-	250,000	-
Fire Department	183,000	80,000	-56.28%	50,000	-37.50%	-	-100.00%	85,000	-	-	-100.00%
Transportation Services	-	-	-	-	-	-	-	-	-	-	-
Paving and Road Construction	100,000	-	-100.00%	-	-	1,050,000	-	1,050,000	0.00%	33,000	-96.86%
Traffic Upgrades	47,000	27,000	-42.55%	52,000	92.59%	150,000	188.46%	150,000	0.00%	-	-100.00%
Storm Drains	112,500	150,000	33.33%	380,000	153.33%	380,000	0.00%	380,000	0.00%	-	-100.00%
Other Public Works Projects	75,000	-	-100.00%	-	-	-	-	-	-	-	-
Parks	25,000	297,167	1088.67%	1,329,911	347.53%	78,030	-94.13%	79,590	2.00%	81,182	2.00%
Cultural Services	309,500	30,000	-90.31%	30,000	0.00%	30,000	0.00%	30,000	0.00%	30,000	0.00%
Parks, Recreation and Heritage	581,000	367,000	-36.83%	250,000	-31.88%	250,000	0.00%	250,000	0.00%	250,000	0.00%
<b>TOTAL GENERAL CAPITAL TRANSFERS</b>	<b>1,433,000</b>	<b>951,167</b>	<b>-33.62%</b>	<b>842,103</b>	<b>-11.47%</b>	<b>1,553,148</b>	<b>84.44%</b>	<b>2,297,224</b>	<b>47.91%</b>	<b>3,104,951</b>	<b>35.16%</b>
<b>OTHER SERVICES</b>											
<b>OTHER BUDGET CONSIDERATIONS</b>											
29911 Contingency Funds	2,536,000	200,000	-92.11%	200,000	0.00%	200,000	0.00%	200,000	0.00%	200,000	0.00%
<b>OTHER BUDGET CONSIDERATIONS</b>	<b>2,536,000</b>	<b>200,000</b>	<b>-92.11%</b>	<b>200,000</b>	<b>0.00%</b>	<b>200,000</b>	<b>0.00%</b>	<b>200,000</b>	<b>0.00%</b>	<b>200,000</b>	<b>0.00%</b>
<b>TOTAL OPERATIONS, DEBT SERVICING, RESERVE AND CAPITAL TRANSFERS, CONTINGENCY</b>											
	<b>34,764,039</b>	<b>34,475,103</b>	<b>-0.83%</b>	<b>35,227,269</b>	<b>2.18%</b>	<b>36,650,000</b>	<b>6.31%</b>	<b>38,095,167</b>	<b>8.14%</b>	<b>39,611,074</b>	<b>8.08%</b>
<b>TRANSFERS TO RESERVE ALLOWANCES</b>											
28211 Transfers to Reserve Allowances	400,000	-	-100.00%	-	-	-	-	-	-	-	-
<b>TAXES COLLECTED FOR OTHERS</b>											
<b>REGIONAL DISTRICT</b>											
28410 Alberni-Clayoquot Regional District	1,372,574	1,491,725	8.68%	1,506,642	1.00%	1,521,709	1.00%	1,536,926	1.00%	1,552,295	1.00%
<b>SCHOOL DISTRICTS</b>											
28811 Non-Residential School Tax	1,874,170	1,749,007	-6.68%	1,783,987	2.00%	1,819,667	2.00%	1,856,060	2.00%	1,893,181	2.00%
28812 Residential School Tax	3,166,722	4,380,106	38.32%	4,467,708	2.00%	4,557,062	2.00%	4,648,204	2.00%	4,741,168	2.00%
<b>REGIONAL GOVERNMENTS</b>											
28820 Alberni-Clayoquot Regional Hosp District	700,665	680,000	-2.95%	686,800	1.00%	693,668	1.00%	700,605	1.00%	707,611	1.00%
<b>JOINT BOARDS AND COMMISSIONS</b>											
28830 Municipal Finance Authority	700	700	0.00%	700	0.00%	700	0.00%	700	0.00%	700	0.00%
28831 BC Assessment	181,000	182,810	1.00%	184,638	1.00%	186,484	1.00%	188,349	1.00%	190,000	0.88%
<b>TAXES COLLECTED FOR OTHERS</b>	<b>7,295,831</b>	<b>8,484,348</b>	<b>16.29%</b>	<b>8,630,475</b>	<b>1.72%</b>	<b>8,779,290</b>	<b>1.72%</b>	<b>8,930,844</b>	<b>1.73%</b>	<b>9,084,955</b>	<b>1.73%</b>
<b>GENERAL FUND EXPENDITURE</b>	<b>42,459,870</b>	<b>42,959,451</b>	<b>1.18%</b>	<b>43,857,744</b>	<b>2.09%</b>	<b>45,429,290</b>	<b>3.58%</b>	<b>47,026,011</b>	<b>3.51%</b>	<b>48,696,029</b>	<b>3.55%</b>



**CITY OF PORT ALBERNI  
SEWER FUND - REVENUE & EXPENSES  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
<b>SALES OF SERVICE</b>											
94421 Sewer Fees	3,111,167	3,235,614	4.00%	3,381,216	4.50%	3,534,047	4.52%	3,675,409	4.00%	3,840,803	4.50%
94431 Sewer Connections	40,052	80,000	99.74%	83,600	4.50%	87,379	4.52%	90,874	4.00%	94,863	4.50%
94432 Service Charges Sundry	3,976	5,000	25.75%	5,225	4.50%	5,461	4.52%	5,680	4.00%	5,935	4.50%
94433 User Charges	18,293	20,000	9.33%	20,900	4.50%	21,845	4.52%	22,718	4.00%	23,741	4.50%
<b>OTHER SERVICES</b>											
94441 Sewage Disposal Fees	12,981	70,000	439.25%	73,150	4.50%	76,456	4.52%	79,515	4.00%	83,093	4.50%
<b>SALES OF SERVICE</b>	<b>3,186,469</b>	<b>3,410,614</b>	<b>7.03%</b>	<b>3,564,091</b>	<b>4.50%</b>	<b>3,725,188</b>	<b>4.52%</b>	<b>3,874,196</b>	<b>4.00%</b>	<b>4,048,535</b>	<b>4.50%</b>
<b>OTHER REVENUE FROM OWN SOURCE</b>											
95590 Interest Income	12,000	24,000	100.00%	24,000	0.00%	24,000	0.00%	24,000	0.00%	24,000	0.00%
95611 Sewer Penalty	20,000	35,000	75.00%	36,400	4.00%	38,045	4.52%	39,765	4.52%	41,562	4.52%
91210 Sewer Local Improvement Charges	3,200	1,000	-68.75%	1,000	0.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%
<b>OTHER REVENUE</b>	<b>35,200</b>	<b>60,000</b>	<b>70.45%</b>	<b>61,400</b>	<b>2.33%</b>	<b>63,045</b>	<b>2.68%</b>	<b>64,765</b>	<b>2.73%</b>	<b>66,562</b>	<b>2.78%</b>
<b>OTHER TRANSFERS</b>											
99110 Transfer from Capital Reserve-Gas Tax	46,000	46,000	0.00%	46,000	0.00%	46,000	0.00%	46,000	0.00%	46,000	0.00%
99111 Transfers from Reserves & Allowances	292,000	-	-100.00%	-	-	-	-	-	-	-	-
99114 Operating Funds from Prior Year	-	-	-	-	-	-	-	-	-	-	-
99211 Contribution (To) From General Revenue	-	-	-	-	-	-	-	-	-	-	-
<b>SEWER FUND REVENUE</b>	<b>3,559,669</b>	<b>3,516,614</b>	<b>-1.21%</b>	<b>3,671,491</b>	<b>4.40%</b>	<b>3,834,234</b>	<b>4.43%</b>	<b>3,984,961</b>	<b>3.93%</b>	<b>4,161,097</b>	<b>4.42%</b>
<b>ADMINISTRATION</b>											
104210 Sewer Administration & Other	375,037	457,418	21.97%	463,741	1.38%	470,164	1.39%	476,688	1.39%	483,316	1.39%
<b>ENGINEERING SERVICES</b>											
104221 Consulting Services	31,000	34,500	11.29%	35,035	1.55%	35,578	1.55%	36,130	1.55%	36,691	1.55%
<b>SEWER SYSTEM ADMINISTRATION</b>											
104233 Customer Service Requests	130,450	68,132	-47.77%	69,257	1.65%	70,823	2.26%	72,091	1.79%	73,376	1.78%
104236 Small Tools/Equipment/Supplies	8,899	9,318	4.71%	9,494	1.89%	9,674	1.90%	9,858	1.90%	10,045	1.90%
<b>SEWER COLLECTION SYSTEM</b>											
104240 Sewage Collection System Main	126,772	118,952	-6.17%	121,334	2.00%	123,665	1.92%	125,848	1.77%	128,073	1.77%
104241 Sewer Service Connections	216,560	179,509	-17.11%	183,174	2.04%	186,815	1.99%	190,092	1.75%	193,432	1.76%
<b>SEWER LIFT STATIONS</b>											
104260 Sewage Lift Stations	170,102	270,077	58.77%	275,338	1.95%	280,624	1.92%	285,783	1.84%	291,044	1.84%
<b>SEWER TREATMENT AND DISPOSAL</b>											
104280 Sewage Treatment	319,086	351,615	10.19%	357,454	1.66%	363,351	1.65%	369,612	1.72%	375,999	1.73%
<b>OTHER COMMON SERVICES</b>											
104294 Special Work Orders	2,000	1,000	-50.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%	1,000	0.00%
<b>SEWER SYSTEM</b>	<b>1,379,906</b>	<b>1,490,521</b>	<b>8.02%</b>	<b>1,515,827</b>	<b>1.70%</b>	<b>1,541,694</b>	<b>1.71%</b>	<b>1,567,102</b>	<b>1.65%</b>	<b>1,592,976</b>	<b>1.65%</b>
<b>FISCAL SERVICES</b>											
<b>DEBT</b>											
108120 Interest Payments On Debentures	344,613	356,680	3.50%	452,305	26.81%	452,305	0.00%	452,305	0.00%	452,305	0.00%
108130 Principal Payments On Debentures	317,423	212,215	-33.14%	413,659	94.92%	413,659	0.00%	413,659	0.00%	413,659	0.00%
<b>TOTAL DEBT</b>	<b>662,036</b>	<b>568,895</b>	<b>-14.07%</b>	<b>865,964</b>	<b>52.22%</b>	<b>865,964</b>	<b>0.00%</b>	<b>865,964</b>	<b>0.00%</b>	<b>865,964</b>	<b>0.00%</b>
<b>TRANSFER TO FUNDS AND RESERVES</b>											
108220 Transfer To Sewer Capital Fund	892,000	1,033,000	15.81%	775,000	-24.98%	1,300,000	67.74%	1,300,000	0.00%	1,300,000	0.00%
108910 Debt Reserve Fund Transfer	2,000	2,000	0.00%	2,000	0.00%	2,000	0.00%	2,000	0.00%	2,000	0.00%
108211 Transfer to Reserves & Allowances	-	-	-	-	-	-	-	0	-	0	-
108920 Transfer to Infrastructure Capital Reserve	623,727	422,198	-32.31%	512,700	21.44%	124,576	-75.70%	249,895	100.60%	400,157	60.13%
<b>TRANSFERS</b>	<b>1,517,727</b>	<b>1,457,198</b>	<b>-3.99%</b>	<b>1,289,700</b>	<b>-11.49%</b>	<b>1,426,576</b>	<b>10.61%</b>	<b>1,551,895</b>	<b>8.78%</b>	<b>1,702,157</b>	<b>9.68%</b>
<b>FISCAL SERVICES</b>	<b>2,179,763</b>	<b>2,026,093</b>	<b>-7.05%</b>	<b>2,155,664</b>	<b>6.40%</b>	<b>2,292,540</b>	<b>6.35%</b>	<b>2,417,859</b>	<b>5.47%</b>	<b>2,568,121</b>	<b>6.21%</b>
<b>EXCESS OF REVENUE OVER EXPENSE</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>SEWER FUND EXPENSES</b>	<b>3,559,869</b>	<b>3,518,614</b>	<b>-1.21%</b>	<b>3,671,491</b>	<b>4.40%</b>	<b>3,834,234</b>	<b>4.43%</b>	<b>3,984,961</b>	<b>3.93%</b>	<b>4,161,097</b>	<b>4.42%</b>





**CITY OF PORT ALBERNI  
WATER FUND - REVENUE & EXPENSES  
2022-2026 FINANCIAL PLAN**

	Budget 2021	Budget 2022	Increase %	Budget 2023	Increase %	Budget 2024	Increase %	Budget 2025	Increase %	Budget 2026	Increase %
<b>SALES OF SERVICE</b>											
54421 Metered Sales	3,951,843	3,549,814	-10.17%	3,727,304	5.00%	3,857,760	3.50%	3,992,782	3.50%	4,132,529	3.50%
54431 Connections	44,729	54,386	21.59%	54,386	0.00%	54,386	0.00%	54,386	0.00%	54,386	0.00%
54432 Turn-On Charges	421	1,500	256.25%	1,500	0.00%	1,500	0.00%	1,500	0.00%	1,500	0.00%
54433 Service Charges Sundry	11,248	50,000	344.54%	50,000	0.00%	50,000	0.00%	50,000	0.00%	50,000	0.00%
<b>SALES OF SERVICE</b>	<b>4,008,241</b>	<b>3,655,700</b>	<b>-8.80%</b>	<b>3,833,190</b>	<b>4.86%</b>	<b>3,963,646</b>	<b>3.40%</b>	<b>4,098,668</b>	<b>3.41%</b>	<b>4,238,415</b>	<b>3.41%</b>
<b>OTHER REVENUE FROM OWN SOURCE</b>											
55580 Other Interest	13,300	31,930	140.08%	31,930	0.00%	31,930	0.00%	31,930	0.00%	31,930	0.00%
55611 Water Penalty	28,000	35,000	25.00%	35,000	0.00%	35,000	0.00%	35,000	0.00%	35,000	0.00%
<b>OTHER REVENUE</b>	<b>41,300</b>	<b>66,930</b>	<b>62.06%</b>	<b>66,930</b>	<b>0.00%</b>	<b>66,930</b>	<b>0.00%</b>	<b>66,930</b>	<b>0.00%</b>	<b>66,930</b>	<b>0.00%</b>
<b>WATER FUND REVENUE</b>	<b>4,049,541</b>	<b>3,722,630</b>	<b>-8.07%</b>	<b>3,900,120</b>	<b>4.77%</b>	<b>4,030,576</b>	<b>3.34%</b>	<b>4,165,598</b>	<b>3.35%</b>	<b>4,305,345</b>	<b>3.35%</b>
<b>WATER SUPPLY SYSTEM ADMINISTRATION</b>											
64110 Water Administration & Other	354,997	451,872	27.29%	460,807	1.98%	469,878	1.97%	481,041	2.38%	492,461	2.37%
<b>ENGINEERING SERVICES</b>											
64121 Engineering Consulting Services	30,000	120,000	300.00%	30,000	-75.00%	30,000	0.00%	30,000	0.00%	30,000	0.00%
<b>WATER SYSTEM ADMINISTRATION</b>											
64133 Customer Service Requests	99,443	104,484	5.07%	106,681	2.10%	108,712	1.90%	110,714	1.84%	112,732	1.82%
64136 Small Tools/Equipment/Supplies	12,261	9,750	-20.48%	9,750	0.00%	9,750	0.00%	9,750	0.00%	9,750	0.00%
<b>SERVICE OF SUPPLY</b>											
64141 Supply Inspection & Operation	219,175	127,740	-41.72%	130,283	1.99%	132,807	1.94%	134,896	1.57%	137,349	1.82%
<b>PUMPING</b>											
64161 Pumping Inspection & Operation	295,627	249,045	-15.76%	252,575	1.42%	256,062	1.38%	259,496	1.34%	262,992	1.35%
<b>TRANSMISSION &amp; DISTRIBUTION</b>											
64181 Transmission/Distribution System	273,433	317,799	16.23%	322,434	1.46%	326,874	1.38%	331,413	1.39%	336,046	1.40%
64183 Connections	211,500	265,565	25.56%	269,990	1.67%	274,064	1.51%	278,245	1.53%	282,490	1.53%
64185 Meters	219,230	144,272	-34.19%	145,585	0.91%	146,579	0.68%	147,710	0.77%	148,871	0.79%
64187 Hydrants	45,003	91,644	103.64%	93,082	1.57%	94,490	1.51%	95,930	1.52%	97,399	1.53%
<b>WATER SUPPLY SYSTEM</b>	<b>1,760,669</b>	<b>1,882,171</b>	<b>6.90%</b>	<b>1,821,187</b>	<b>-3.24%</b>	<b>1,849,216</b>	<b>1.54%</b>	<b>1,879,195</b>	<b>1.62%</b>	<b>1,910,090</b>	<b>1.64%</b>
<b>FISCAL SERVICES</b>											
<b>DEBT</b>											
68120 Interest Payments On Debentures	44,000	44,000	0.00%	44,000	0.00%	44,000	0.00%	44,000	0.00%	44,000	0.00%
68130 Principal Payments On Debentures	38,743	38,743	0.00%	38,743	0.00%	38,743	0.00%	38,743	0.00%	38,743	0.00%
<b>DEBT</b>	<b>82,743</b>	<b>82,743</b>	<b>0.00%</b>	<b>82,743</b>	<b>0.00%</b>	<b>82,743</b>	<b>0.00%</b>	<b>82,743</b>	<b>0.00%</b>	<b>82,743</b>	<b>0.00%</b>
<b>TRANSFERS TO FUNDS AND RESERVES</b>											
68220 Transfers To Water Capital Fund	750,000	473,000	-38.93%	1,613,000	241.01%	1,350,000	-16.31%	1,350,000	0.00%	1,350,000	0.00%
68230 Transfer to(from) Infrastructure Capital Reserve	1,452,829	1,284,256	-11.60%	382,730	-70.20%	748,157	95.48%	853,200	14.04%	962,052	12.76%
68910 Debt Reserve Fund Transfer	3,300	460	-86.06%	460	0.00%	460	0.00%	460	0.00%	460	0.00%
<b>FISCAL SERVICES</b>	<b>2,288,872</b>	<b>1,840,459</b>	<b>-19.59%</b>	<b>2,078,933</b>	<b>12.96%</b>	<b>2,181,360</b>	<b>4.93%</b>	<b>2,286,403</b>	<b>4.82%</b>	<b>2,395,255</b>	<b>4.76%</b>
<b>EXCESS OF REVENUE OVER EXPENSE</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>WATER FUND EXPENSE</b>	<b>4,049,541</b>	<b>3,722,630</b>	<b>-8.07%</b>	<b>3,900,120</b>	<b>4.77%</b>	<b>4,030,576</b>	<b>3.34%</b>	<b>4,165,598</b>	<b>3.35%</b>	<b>4,305,345</b>	<b>3.35%</b>

Capital Projects 2022-2026	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Parks & Rec Reserve	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
	Operating	Reserves							Operating	Reserves	Operating	Reserves	
<b>STRATEGIC CAPITAL PROJECTS 2022</b>													
Connect the Quays pathway	200,000					1,641,411							1,841,411
Tree Planting	75,000												75,000
	275,000	-	-	-	-	1,641,411	-	-	-	-	-	-	1,916,411
<b>ADMINISTRATION</b>													
Computer Equipment Replacement			69,600										69,600
ERP Upgrades - accounting and payroll systems			50,000										50,000
	-	-	119,600	-	-	-	-	-	-	-	-	-	119,600
<b>FIRE DEPARTMENT</b>													
Confined Space Equipment Replacement	30,000												30,000
Replace Garage Door Openers (7)	50,000												50,000
	80,000	-	-	-	-	-	-	-	-	-	-	-	80,000
<b>TRANSPORTATION SERVICES</b>													
Replace 2007 GMC 5500 W/SERVICE BOX #140			134,000										134,000
Replace 2008 DODGE 5500 SERVICE TRUCK #141			112,000										112,000
Replace 2007 GMC C5500 Utility Dump Trk #240			140,000										140,000
Replace 2009 Case 580 5m Backhoe #303			165,000										165,000
Replace 2013 Linkbelt excavator #342			190,000										190,000
Replace 2007 JOHN DEERE TRACTOR 5625 #624			110,000										110,000
Replace 2010 KUBOTA F3680 MOWER #625			53,000										53,000
	-	-	904,000	-	-	-	-	-	-	-	-	-	904,000
<b>PAVING &amp; ROAD CONSTRUCTION</b>													
7th Ave - Redford St to Bute St 180m (ptp, st, sani, wtr)				420,000									420,000
Argyle / 10th Roundabout (ptp, w, st, s) Design only							135,000						135,000
2023 Capital project design - detail to follow				180,000									180,000
Argyle 1st to 3rd Avenue - CSO				100,000									100,000
15th Ave-Montrose to Bruce (wastside half road reconstruction)				120,000									120,000
6th Ave - Argyle to Angus st - Cost escalation				160,000									160,000
	-	-	-	980,000	-	-	135,000	-	-	-	-	-	1,115,000
<b>TRAFFIC UPGRADES</b>													
3rd Ave/Argyle Street - Signal Controller Replacement	27,000												27,000
	27,000	-	-	-	-	-	-	-	-	-	-	-	27,000
<b>STORM</b>													
<b>Main Renewals &amp; Upgrades</b>													
Re-lining Project (Coal Creek - 3rd Ave Crossing/ South St - 2nd to 3rd/ 6th Ave - Montrose to Melrose)	150,000						150,000						300,000
CSO - 7th Ave-Redford to Bute 180m (ptp, st, sani, wtr)	150,000						95,000						95,000
	-	-	-	-	-	-	245,000	-	-	-	-	-	395,000
<b>WORKS-OTHER</b>													
	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>PARKS</b>													
Victoria Quay Millstone Park Connector Foot Bridge	22,167	92,833											115,000
	22,167	92,833	-	-	-	-	-	-	-	-	-	-	115,000
<b>CULTURAL SERVICES</b>													
McLean Mill Capital Projects	30,000				89,900								119,900
	30,000	-	-	-	89,900	-	-	-	-	-	-	-	119,900
<b>PARKS, RECREATION &amp; HERITAGE</b>													
Train Station - upgrades City contribution	200,000												200,000
Facilities - asset renewal projects	167,000												167,000
	367,000	-	-	-	-	-	-	-	-	-	-	-	367,000
<b>WATER WORKS</b>													
Dead Ends & Distribution Upgrades									100,000				100,000
Argyle / 10th Roundabout (ptp, w, st, s) Design only									15,000				15,000
2023 Capital project design - to be identified									60,000				60,000
Cowichan Reservoir to Burde St New Twin Main Ph 6 (15th Ave, Fowle Cres to Cowichan Res- 580m of 500mm HDPE; 16th Ave, Argyle St to Church St/17th Ave - 220m of 300mm PVC)									95,000				95,000
CSO - 7th Ave-Redford to Bute 180m									203,000				203,000
	-	-	-	-	-	-	-	-	473,000	-	-	-	473,000
<b>SEWER SYSTEM</b>													
Harbour Road Trunk Sewer Replacement											300,000		300,000

Capital Projects 2022-2026	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Parks & Rec Reserve	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
	Operating	Reserves							Operating	Reserves	Operating	Reserves	
Argyle & Josephine Forcemain Somaas River Crossing inspection and design											120,000		120,000
Argyle 1st to 3rd Avenue - CSO - design											15,000		15,000
2023 Capital project design - to be identified											60,000		60,000
Argyle / 10th Roundabout (pdp, w, st, s) Design only											4,000		4,000
CSO - 7th Ave-Redford to Bule 180m (pdp, st, san, wtr)											79,000		79,000
Sewer Crawler											80,000		80,000
CSO - 6th Ave Bruce-Melrose											230,000		230,000
CSO - Wallace 4th - 6th (300m)											45,000		45,000
Small Capital Main Replacements											100,000		100,000
	-	-	-	-	-	-	-	-	-	-	1,033,000	-	1,033,000
<b>TOTAL CAPITAL 2022</b>	<b>901,167</b>	<b>92,933</b>	<b>1,023,600</b>	<b>880,000</b>	<b>89,300</b>	<b>1,641,411</b>	<b>380,000</b>	<b>-</b>	<b>473,000</b>	<b>-</b>	<b>1,033,000</b>	<b>-</b>	<b>5,604,911</b>
<b>OPERATING CAPITAL PROJECTS 2023</b>	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Other	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
<b>FUNDING SOURCES</b>	Operating	Reserves							Operating	Reserves	Operating	Reserves	
<b>STRATEGIC CAPITAL PROJECTS 2023</b>													
Connect the Quays pathway	1,253,411												1,253,411
Tree Planting	76,500												76,500
	1,329,911	-	-	-	-	-	-	-	-	-	-	-	1,329,911
<b>ADMINISTRATION</b>													
Server Upgrade/Refresh 5 Year ERRF Cycle			170,000										170,000
Computer Equipment Replacement			71,000										71,000
	-	-	241,000	-	-	-	-	-	-	-	-	-	241,000
<b>FIRE DEPARTMENT</b>													
Replace 2006 Ford F550 Rescue Truck #8 - from 2021			128,961										128,961
2007 Dodge Dakota			46,675										46,675
Replace 1998 Jordair Compressor			59,700										59,700
Replace Ladder Truck 2			1,319,479										1,319,479
Fire Pump Test Pit	50,000		50,000										50,000
	50,000	-	1,554,815	-	-	-	-	-	-	-	-	-	1,604,815
<b>TRANSPORTATION SERVICES</b>													
Replace 2008 Dodge Ram 3500 Flatdeck (shop) #150			46,182										46,182
Replace 2008 Dodge Ram 2500 PU (Carpenter) #151			34,834										34,834
Replace 1998 GMC 4.5M3 Dump Truck #259			112,544										112,544
Replace 1999 GMC 4.5M3 Dump Truck #260			112,156										112,156
Replace 2004 Ford F450 w/Utility Dump Box #263			70,000										70,000
Replace 2011 Freightliner Asphalt Patch Truck #266			193,200										193,200
Replace 2006 LAMFAB DUMP PUP TRAILER - #367			45,657										45,657
Replace 1990 Britco Office Trailer #369			26,258										26,258
Replace 1996 TRIPLE AXLE TILT TRAILER - #388			47,501										47,501
Replace 1996 Wells Cargo Trailer (Swr) #389			14,118										14,118
Replace 1997 Big 40 Diesel Miller Welder #393			18,869										18,869
Replace 1995 BOMAG ROLLER #395			60,696										60,696
Replace 2005 Ford F250 4X4 Pickup #610			47,500										47,500
Replace 2005 GMC TC5500 152" WB (Hort) #614			85,800										85,800
Replace 2005 GMC TC5500 128" WB (Util) #615			87,874										87,874
Replace 2004 CHEV 3500 CUBE VAN (used) #616			51,724										51,724
Replace 2006 FORD E350 15 PASSENGER VAN #619			62,016										62,016
Replace 2008 Ford Ranger 4X4 Pickup #627			29,029										29,029
Replace 2007 Dodge Caliber #721			23,651					22,600					46,451
	-	-	1,169,809	-	-	-	-	22,600	-	-	-	-	1,192,409
<b>PAVING &amp; ROAD CONSTRUCTION</b>													
2024 Capital Design - Paving and Storm design costs				250,000									250,000
CSO - 6th Ave Bruce-Melrose (Pdp stm, sewer, water)				340,000									340,000
CSO - Wallace 4th - 6th (pdp, st, w, s)				230,000									230,000
	-	-	-	820,000	-	-	-	-	-	-	-	-	820,000
<b>TRAFFIC UPGRADES</b>													
Intersection Safety #1a Gertrude/Roger	52,000												52,000
	52,000	-	-	-	-	-	-	-	-	-	-	-	52,000
<b>STORM</b>													
CSO Project aligned with sewer project	380,000												380,000
	380,000	-	-	-	-	-	-	-	-	-	-	-	380,000
<b>WORKS-OTHER</b>													
<b>PARKS</b>													

Capital Projects 2022-2026	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Parks & Rec Reserve	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
	Operating	Reserves							Operating	Reserves	Operating	Reserves	
	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>CULTURAL SERVICES</b>													-
McLean Mill Capital Projects	30,000				89,900								119,900
	30,000	-	-	-	89,900	-	-	-	-	-	-	-	119,900
<b>PARKS, RECREATION &amp; HERITAGE</b>													-
Facilities Upgrade	250,000												250,000
	250,000	-	-	-	-	-	-	-	-	-	-	-	250,000
<b>WATER WORKS</b>													-
Small Capital Water projects									100,000				100,000
Dunbar St-10th Ave to 11th Ave loop 200mm PVC									100,000				100,000
Bainbridge Plant to Cowichan Reservoir Supply Main Replacement													-
DESIGN ONLY									150,000				150,000
Cowichan Reservoir to Burde St, New Twin Main Ph 6 (15th Ave, Fowle Cres to Cowichan Res- 580m of 500mm HDPE; 16th Ave, Argyle St to Church St-17th Ave - 220m of 300mm PVC)									940,000				940,000
Burde St-11th Ave to Estevan 650m - Development									160,000				160,000
CSO - Argyle (1st-3rd) (240m st.w revitalisation)									115,000				115,000
CSO - 6th Ave Bruce-Melrose									48,000				48,000
CSO - Wallace 4th - 6th (120m)													-
	-	-	-	-	-	-	-	-	1,613,000	-	-	-	1,613,000
<b>SEWER SYSTEM</b>													-
Harbour Road Trunk Sewer Replacement											300,000		300,000
Sewer Main Video Program											100,000		100,000
CSO - 6th Ave Bruce-Melrose											230,000		230,000
CSO - Wallace 4th - 6th (300m)											45,000		45,000
Small Capital Main Replacements											100,000		100,000
	-	-	-	-	-	-	-	-	-	-	775,000	-	775,000
<b>TOTAL CAPITAL 2023</b>	<b>2,091,911</b>	<b>-</b>	<b>2,365,624</b>	<b>620,000</b>	<b>89,900</b>	<b>-</b>	<b>-</b>	<b>22,000</b>	<b>1,613,000</b>	<b>-</b>	<b>775,000</b>	<b>-</b>	<b>8,378,035</b>
<b>OPERATING CAPITAL PROJECTS - 2024</b>	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Other	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
<b>FUNDING SOURCES</b>	Operating	Reserves							Operating	Reserves	Operating	Reserves	
<b>ADMINISTRATION</b>													-
Computer Equipment Replacement			72,400										72,400
	-	-	72,400	-	-	-	-	-	-	-	-	-	72,400
<b>FIRE DEPARTMENT</b>													-
Replace 2011 CHEV SILVERADO 4X4 #13			60,564										60,564
Replace Exhaust Extraction Equipment			43,068										43,068
	-	-	103,632	-	-	-	-	-	-	-	-	-	103,632
<b>TRANSPORTATION SERVICES</b>													-
Replace 1992 Ingersoll Rand Compressor/Trailer #377			29,600										29,600
Replace 2018 Freightliner Garbage Truck #401			443,060										443,060
Replace 2018 Freightliner Garbage Truck #402			443,060										443,060
Replace 2018 Freightliner Garbage Truck #403			443,060										443,060
Replace 2012 Chev 3500 Service Truck #521			77,691										77,691
Replace 2014 Toyota Tacoma #522			50,470										50,470
Replace 2007 FORD F350 PICKUP (CARPENTER) #522			39,030										39,030
Replace 2013 TORO MOWER #633			122,147										122,147
	-	-	1,648,108	-	-	-	-	-	-	-	-	-	1,648,108
<b>PAVING &amp; ROAD CONSTRUCTION</b>													-
Design for 2025 Capital projects	250,000												250,000
Capital plan designed in 2023	800,000												800,000
	1,050,000	-	-	-	-	-	-	-	-	-	-	-	1,050,000
<b>TRAFFIC UPGRADES</b>													-
Intersection safety	150,000												150,000
	150,000	-	-	-	-	-	-	-	-	-	-	-	150,000
<b>STORM</b>													-
CSO projects	380,000												380,000
	380,000	-	-	-	-	-	-	-	-	-	-	-	1,580,000
<b>WORKS-OTHER</b>													-
Total Station Survey Instrument - ERRF			53,835										53,835
	-	-	53,835	-	-	-	-	-	-	-	-	-	53,835
<b>PARKS</b>													-
Tree Planting	78,030												78,030
	78,030	-	-	-	-	-	-	-	-	-	-	-	78,030



Capital Projects 2022-2026	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Parks & Rec Reserve	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
	Operating	Reserves							Operating	Reserves	Operating	Reserves	
<b>CULTURAL SERVICES</b>													
McLean Mill Capital Projects	30,000				89,900								119,900
	30,000		-	-	89,900	-	-		-	-	-	-	119,900
<b>PARKS, RECREATION &amp; HERITAGE</b>													
Replace 1997 CLARKE FLOOR SCRUBBER - ERRF			18,842										18,842
Facilities Upgrade	250,000												250,000
	250,000	-	18,842	-	-	-	-		-	-	-	-	250,000
<b>WATER WORKS</b>													
Small Capital Water projects									100,000				100,000
Design and project for 2024									1,200,000				1,200,000
	-	-	-	-	-	-	-		1,300,000	-	-	-	1,300,000
<b>SEWER SYSTEM</b>													
Small Capital Sewer projects											100,000		100,000
Design and project for 2024											1,200,000		1,200,000
	-	-	-	-	-	-	-		-	-	1,300,000	-	1,300,000
	-	-	-	-	-	-	-		-	-	-	-	-
<b>TOTAL GENERAL CAPITAL 2024</b>	<b>1,938,000</b>	<b>-</b>	<b>1,898,817</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>1,300,000</b>	<b>-</b>	<b>5,134,847</b>
<b>OPERATING CAPITAL PROJECTS 2025 FUNDING SOURCES</b>													
<b>ADMINISTRATION</b>													
Computer Equipment Replacement			73,848										73,848
	-	-	73,848	-	-	-	-		-	-	-	-	73,848
<b>FIRE DEPARTMENT</b>													
Parking lot upgrade	85,000												85,000
	85,000	-	-	-	-	-	-		-	-	-	-	85,000
<b>TRANSPORTATION SERVICES</b>													
Replace 2013 Volvo Dump Tandem Axle #267			194,386										194,386
2005 John Deere Loader #350			288,285										288,285
Replace 2005 Volvo Grader #355			306,818										306,818
Replace 2015 Ventrac Mower			41,184										41,184
		-	830,673	-	-	-	-		-	-	-	-	830,673
<b>PAVING &amp; ROAD CONSTRUCTION</b>													
Design for 2025 Capital projects	250,000												250,000
Capital plan designed in 2023	800,000												800,000
	1,050,000	-	-	-	-	-	-		-	-	-	-	1,050,000
<b>TRAFFIC UPGRADES</b>													
Intersection safety	150,000												150,000
	150,000	-	-	-	-	-	-		-	-	-	-	150,000
<b>STORM</b>													
CSD projects	380,000												380,000
	380,000	-	-	-	-	-	-		-	-	-	-	1,580,000
<b>WORKS-OTHER</b>													
	-	-	-	-	-	-	-		-	-	-	-	-
<b>PARKS</b>													
Tree Planting	79,590												79,590
	79,590	-	-	-	-	-	-		-	-	-	-	79,590
<b>CULTURAL SERVICES</b>													
McLean Mill Capital Projects	30,000				89,900								119,900
	30,000		-	-	89,900	-	-		-	-	-	-	119,900
<b>PARKS, RECREATION &amp; HERITAGE</b>													
Facilities Upgrade	250,000												250,000
	250,000	-	-	-	-	-	-		-	-	-	-	250,000
<b>WATER WORKS</b>													
Small Capital Water projects	-								100,000				100,000
Design and project for 2025	-								1,250,000				1,250,000
	-	-	-	-	-	-	-		1,350,000	-	-	-	1,350,000

Capital Projects 2022-2026	General Revenue		ERRF	Gas Tax	Fed & Prov Assistance	Parks & Rec Reserve	Capital Wks Reserves	Carbon Reserve	Water Revenue		Sewer Revenue		Total Project Expenditure
	Operating	Reserves							Operating	Reserves	Operating	Reserves	
<b>SEWER</b>													
Small Capital Sewer projects											100,000		100,000
Design and project for 2026											1,200,000		1,200,000
	-	-	-	-	-	-	-	-	-	-	1,300,000	-	1,300,000
<b>TOTAL CAPITAL 2025</b>	<b>2,024,530</b>		<b>904,521</b>	<b>-</b>	<b>89,900</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>1,350,000</b>	<b>-</b>	<b>1,300,000</b>	<b>-</b>	<b>5,668,011</b>
<b>OPERATING CAPITAL PROJECTS 2026 FUNDING SOURCES</b>	<b>General Revenue</b>	<b>Reserves</b>	<b>ERRF</b>	<b>Gas Tax</b>	<b>Fed &amp; Prov Assistance</b>	<b>Other</b>	<b>Capital Wks Reserves</b>	<b>Carbon Reserve</b>	<b>Water Revenue</b>	<b>Reserves</b>	<b>Sewer Revenue</b>	<b>Reserves</b>	<b>Total Project Expenditure</b>
<b>ADMINISTRATION</b>													
ERP Replacement	250,000		250,000										500,000
Computer Equipment Replacement			75,325										75,325
	250,000	-	325,325	-	-	-	-	-	-	-	-	-	575,325
<b>TRANSPORTATION SERVICES</b>													
Replace 2014 TYMCO SWEEPER #411			367,220										367,220
Replace 2011 GMC SIERRA P/U #629			49,008										49,008
Replace 2013 TOYOTA TACOMA #630			35,006										35,006
Replace 2013 TOYOTA TACOMA #632			35,006										35,006
		-	486,240	-	-	-	-	-	-	-	-	-	486,240
<b>TRAFFIC UPGRADES</b>													
Traffic Signal Controller Replacement	33,000												33,000
	33,000	-	-	-	-	-	-	-	-	-	-	-	33,000
<b>WORKS/OTHER</b>													
Garbage Carts			630,109										630,109
	-	-	630,109	-	-	-	-	-	-	-	-	-	630,109
<b>PARKS</b>													
Tree Planting	81,182												81,182
	81,182	-	-	-	-	-	-	-	-	-	-	-	81,182
<b>CULTURAL SERVICES</b>													
McLean Mill Capital Projects	30,000				89,900								119,900
	30,000	-	-	-	89,900	-	-	-	-	-	-	-	119,900
<b>PARKS, RECREATION &amp; HERITAGE</b>													
Facilities Upgrade	250,000												250,000
	250,000	-	-	-	-	-	-	-	-	-	-	-	250,000
<b>WATER WORKS</b>													
Small Capital Water projects									100,000				100,000
Design and project for 2026									1,200,000				1,200,000
									1,350,000				1,350,000
<b>SEWER SYSTEM</b>													
Upgrades											1,200,000		1,200,000
Small Capital Main Replacements											100,000		100,000
	-	-	-	-	-	-	-	-	-	-	1,300,000	-	1,300,000
<b>TOTAL CAPITAL 2026</b>	<b>644,162</b>	<b>-</b>	<b>1,641,674</b>	<b>-</b>	<b>89,900</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>1,350,000</b>	<b>-</b>	<b>1,300,000</b>	<b>-</b>	<b>4,025,736</b>



**CITY OF PORT ALBERNI  
PARKS AND RECREATION CAPITAL RESERVE**

	21-Aug-2000	Updated			
	2022	2023	2024	2025	2026
<b>RECEIPTS</b>					
Balance forward	2,376,927	859,316	984,961	1,112,498	1,241,972
Investment Income	25,000	25,000	25,000	25,000	25,000
Recreation Services Surcharge	73,800	75,645	77,536	79,475	81,461
Other Deposits	25,000	25,000	25,000	25,000	25,000
Transfers	-	-	-	-	-
Sale of Property	-	-	-	-	-
	2,500,727	984,961	1,112,498	1,241,972	1,373,434
<b>EXPENSES</b>					
Parks & Recreation Properties and Facilities	1,641,411	-	-	-	-
	1,641,411	-	-	-	-
<b>REVENUE OVER (UNDER) EXPENSES</b>	859,316	984,961	1,112,498	1,241,972	1,373,434
<b>FUND EQUITY - ENDING</b>	859,316	984,961	1,112,498	1,241,972	1,373,434



**CITY OF PORT ALBERNI**  
**CAPITAL WORKS RESERVE FUND - 5 YEAR PLAN**

8-Aug-1994

	2022	2023	2024	2025	2026
<hr/>					
RECEIPTS					
Investment Income	35,000	35,000	35,000	35,000	35,000
New Deal Gas Tax Funds	835,923	835,923	872,264	-	-
Miscellaneous	80,000	80,000	80,001	80,001	80,001
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
	950,923	950,923	987,265	115,001	115,001
EXPENSES					
Gas Tax - capital projects	980,000	702,500	-	-	-
Gas Tax - operating (capacity bldg)	46,000	46,000	46,000	46,000	46,000
Capital Expenditures - Special					
Capital Expenditures- Capital works	380,000	820,000	-		
	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
	1,406,000	1,568,500	46,000	46,000	46,000
REVENUE OVER EXPENSES	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
	(455,077)	(617,577)	941,265	69,001	69,001
FUND EQUITY - ENDING	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
	\$ 2,849,338	\$ 2,231,761	\$ 3,173,026	\$ 3,242,027	\$ 3,311,028





**CITY OF PORT ALBERNI**  
**EQUIPMENT REPLACEMENT RESERVE FUND - 5 YEAR PLAN**

31-Dec-1973

	2022	2023	2024	2025	2026
Sale of Equipment	-	-	-		
Investment Income	40,000	30,000	30,000	30,000	30,000
Transfers from General Revenue	30,000	24,000	18,000	18,000	18,000
Contributions - ERRF Schedule	1,003,756	1,024,297	1,055,026	1,086,677	1,119,277
	1,073,756	1,078,297	1,103,026	1,134,677	1,167,277
<b>EXPENSES</b>					
Transfer to Capital Works Bylaw	-	-			
Equipment Purchases	1,023,600	2,965,624	1,896,817	904,521	1,441,674
	1,023,600	2,965,624	1,896,817	904,521	1,441,674
<b>REVENUE OVER EXPENSES</b>	50,156	(1,887,327)	(793,791)	230,156	(274,397)
<b>FUND EQUITY - ENDING</b>	5,773,019	3,885,692	3,091,901	3,322,057	3,047,660



**CITY OF PORT ALBERNI**  
**LAND SALE RESERVE FUND - 5 YEAR PLAN**

pre 1970

	2022	2023	2024	2025	2026
RECEIPTS					
Sale of Property	1,000	1,000	1,000	1,000	1,000
Investment Income	9,500	9,700	10,000	10,000	10,000
Transfer from RCMP Surplus	-	-	-	-	-
Transfer from Off Street Parking Res	-	-	-	-	-
	10,500	10,700	11,000	11,000	11,000
EXPENSES					
Transfer to Other Funds	-	-	-	-	-
Acquisitions and Expenses	-	-	-	-	-
	-	-	-	-	-
REVENUE OVER EXPENSES	10,500	10,700	11,000	11,000	11,000
FUND EQUITY - ENDING	61,357	72,057	83,057	94,057	105,057



**CITY OF PORT ALBERNI**  
**DEVELOPMENT COST CHARGES RESERVE FUND - 5 YEAR PLAN**

22-Mar-2010

	2022	2023	2024	2025	2026
<b>RECEIPTS</b>					
Contributions	30,000	30,000	30,000	30,000	30,000
Investment Income	3,500	3,500	3,500	3,500	3,500
	<u>33,500</u>	<u>33,500</u>	<u>33,500</u>	<u>33,500</u>	<u>33,500</u>
<b>EXPENSES</b>					
Transfer to Other Funds	-	-	-	-	-
Acquisitions and Expenses	-	-	-	-	-
	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<b>REVENUE OVER EXPENSES</b>	<u>33,500</u>	<u>33,500</u>	<u>33,500</u>	<u>33,500</u>	<u>33,500</u>
<b>FUND EQUITY - ENDING</b>	<u>1,904,799</u>	<u>1,938,299</u>	<u>1,971,799</u>	<u>2,005,299</u>	<u>2,038,799</u>



**CITY OF PORT ALBERNI  
CEMETERY TRUST FUND - 5 YEAR PLAN**

	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>
<b>RECEIPTS</b>					
Sale Proceeds	3,000	3,000	3,000	3,000	3,000
Investment Income	2,000	2,000	2,000	2,000	2,000
	<u>5,000</u>	<u>5,000</u>	<u>5,000</u>	<u>5,000</u>	<u>5,000</u>
 <b>EXPENSES</b>					
Transfer to General Revenue	<u>2,000</u>	<u>2,000</u>	<u>2,001</u>	<u>2,001</u>	<u>2,001</u>
 <b>REVENUE OVER EXPENDITURE</b>	<u>3,000</u>	<u>3,000</u>	<u>2,999</u>	<u>2,999</u>	<u>2,999</u>
 <b>FUND EQUITY - ENDING</b>	<u>186,327</u>	<u>189,327</u>	<u>192,326</u>	<u>195,325</u>	<u>198,324</u>





**CITY OF PORT ALBERNI  
CARBON TRUST RESERVE FUND - 5 YEAR PLAN**

13-May-2013

	2022	2023	2024	2025	2026
Beginning Balance	129,314	6,314	30,714	77,714	124,714
Contributions	45,000	45,000	45,000	45,000	45,000
Investment Income	2,000	2,000	2,000	2,000	2,000
	47,000	47,000	47,000	47,000	47,000
<b>EXPENSES</b>					
Transfer to Other Funds	-	-	-	-	-
Projects and Expenses					
City Hall - Window replacement - project delayed	80,000				
Connect the Quays - use in future year	90,000				
Replace 2007 Dodge Caliber #721		22,600			
	-	-	-	-	-
	170,000	22,600	-		
<b>REVENUE OVER EXPENSES</b>	(123,000)	24,400	47,000	47,000	47,000
<b>FUND BALANCE</b>	<b>6,314</b>	<b>30,714</b>	<b>77,714</b>	<b>124,714</b>	<b>171,714</b>

**CITY OF PORT ALBERNI****ALBERNI VALLEY COMMUNITY FOREST RESERVE - 5 \ Established: 14-Oct-2014**

	2022	2023	2024	2025	2026
<hr/>					
RECEIPTS					
Begininnig Balance	-	-	-	-	-
Dividends Received	-	-	-	-	-
Donations Received	-	-	-	-	-
Investment Income	1,500	1,500	1,500	1,500	1,500
	<hr/> 1,500	<hr/> 1,500	<hr/> 1,500	<hr/> 1,500	<hr/> 1,500
EXPENSES					
Transfer to Other Funds	-	-	-	-	-
Projects and Expenses	10,000	10,000	10,000	10,000	10,000
	<hr/> 10,000	<hr/> 10,000	<hr/> 10,000	<hr/> 10,000	<hr/> 10,000
REVENUE OVER EXPENSES	<hr/> (8,500)	<hr/> (8,500)	<hr/> (8,500)	<hr/> (8,500)	<hr/> (8,500)
FUND EQUITY - ENDING	<hr/> 1,248,052	<hr/> 1,239,552	<hr/> 1,231,052	<hr/> 1,222,552	<hr/> 1,214,052



**CITY OF PORT ALBERNI  
PARKLAND ACQUISITION RESERVE - 2022 - 2026**

**12-Jun-2006**

	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>
<b>RECEIPTS</b>					
Investment Income	\$ 2,500	\$ 2,500	\$ 2,500	\$ 2,500	\$ 2,500
Sale of Parkland	-	-	-	-	-
Parkland Dedication Deposits	-	-	-	-	-
Historical correction	-	-	-	-	-
	2,500	2,500	2,500	2,500	2,500
<b>EXPENSES</b>					
Acquisition of Parkland	-	-	-	-	-
	-	-	-	-	-
<b>REVENUE OVER (UNDER) EXPENSES</b>	<b>2,500</b>	<b>2,500</b>	<b>2,500</b>	<b>2,500</b>	<b>2,500</b>
<b>FUND EQUITY - ENDING</b>	<b>\$ 298,197</b>	<b>\$ 300,697</b>	<b>\$ 303,197</b>	<b>\$ 305,697</b>	<b>\$ 308,197</b>

RECEIVED

JAN 19 2022

CITY OF PORT ALBERNI



<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input checked="" type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input checked="" type="checkbox"/> Other

File # 0400-20-MHA *Rcm Jan 31/22* *RCHP 3 Corr. Summary*

Via email: [sharie\\_minions@portalberni.ca](mailto:sharie_minions@portalberni.ca)

1208670

January 19, 2022

Their Worship Sharie Minions  
Mayor of the City of Port Alberni  
4850 Argyle St  
Port Alberni BC V9Y 1V8

Dear Mayor Minions and Council:

Thank you for meeting with me at the virtual Union of British Columbia Municipalities Convention in September 2021.

It was a pleasure to hear from you during my first UBCM Convention as Minister, and I learned a lot.

In our meeting, we discussed some of the successes your region has experienced this past year, including increased engagement in peer outreach counselling thanks to Bridging the Gap and the positive impact the Indigenous Safety Team has been having and its ability to reduce police calls and interactions.

You also took the time to tell me about some of the challenges you've faced, in particular the continued impact of the toxic drug crisis on your region, the disproportionate housing, addiction, and mental health challenges faced by Indigenous community members, and the need for more stable funding for grassroots programs.

Our ministry is working hard across government to create an accessible, robust, and culturally safe system of mental health and addictions care that meets people where they're at. For your convenience and interest, I've attached a list of local mental health and substance use resources in your community. I would also like to bring your attention to [wellbeing.gov.bc.ca](http://wellbeing.gov.bc.ca), our recently released navigation tool to help British Columbians connect with the right provincial mental health and/or substance use resources, quickly and easily.

I look forward to receiving the report on your Indigenous Safety Team and for you to connect with ministry staff regarding your pending funding proposals. The report can be sent to [MMHA.Minister@gov.bc.ca](mailto:MMHA.Minister@gov.bc.ca). As discussed, Deputy Minister Christine Massey is committed to reviewing the recommendations associated with the BC Coroner's Service public inquest into the death of Jocelyn George.

...2



- 2 -

It was so helpful to hear from you and communities like yours throughout the week. Meetings like this help me better understand the challenges people and communities across BC face on a daily basis.

Thank you again for your leadership. I look forward to continuing to work with you as we move forward to improve mental health and substance use care for all British Columbians.

Best wishes,



Sheila Malcolmson  
Minister

Attachment



## Mental Health and Substance Use Services in Port Alberni

### Overview

Below is a list of mental health and substance use services and supports available in your community.

### Locally Available Mental Health and Substance Use Resources

Harm reduction services operated by the Port Alberni Shelter Society:

- education
- prevention
- outreach
- harm reduction
- naloxone kits
- counselling
- substance use treatment and supports
- access to mental health services
- witnessed consumption, including inhalation

Referrals Port Alberni Mental Health and Substance Use:

- Intake Services provides a timely, single point of entry for all adult mental health and addiction services in Port Alberni, as well as detox services and emergency crisis response services, 24 hours a day, seven days a week.

Assertive Community Treatment:

- A mental health program that focuses on individual clients and their recovery. The program facilitates community living, psychosocial rehabilitation, and recovery for persons who have the most serious mental illnesses
- ACT serves clients with serious mental illnesses that are complex and who have very significant functional impairments
- ACT services are delivered by a group of mental health staff from a variety of disciplines, who work as a team and provide the majority of treatment services
- ACT services are individually tailored to the needs of each client
- ACT teams are mobile and deliver services in the community

Emergency Services at West Coast General Hospital:

- Psychiatric Emergency Services, Crisis Response Teams, and Community Response Teams provide specialized mental health and addiction services, including intensive assessment and crisis intervention for patients arriving with acute and critical psychiatric disorders.

Adult Short-Term Assessment and Treatment:

- The Adult Short-Term Assessment and Treatment team provides short-term services to adults with serious mental health conditions. Staff members are educated in both mental health and

substance use issues. A therapist works with individuals to help them achieve their mental health goals.

- Services provided include:
  - Individual therapy
  - Group psychoeducation
  - Psychiatric assessment
  - Community resource information
  - Connecting individuals to other appropriate services

**Alberni Valley Drug & Alcohol Prevention Services:**

- Youth and family counselling
- Prevention and early intervention services

**Substance use services, including:**

- Support and Counselling for people who use substances
- Individual and group counselling options
- Outreach team providing nursing and support to people on OAT

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JAN 19 2022

CITY OF PORT ALBERNI

☒ Council  
☒ Mayor  
☒ CAO  
☐ Finance  
☒ Corporate Services  
☒ Agenda  
☐ Economic Development  
☐ Engineering/PW  
☐ Parks, Rec. & Heritage  
☐ Development Services  
☐ Community Safety  
☒ Other *Comm. Summ.*  
*RCM Jan 31/22*  
File # *0230-01*

**From:** Sonia Ali <[sonia@bcepilepsy.com](mailto:sonia@bcepilepsy.com)>

**Sent:** January 13, 2022 3:10 PM

**To:** CityPa <[citypa@portalberni.ca](mailto:citypa@portalberni.ca)>

**Subject:** Lighting Port Alberni City Hall in Purple Lights on March 26th for International Purple Day for Epilepsy Awareness

To Whom It May Concern,

As you may already be aware, epilepsy is one of the most common neurological conditions, however, it currently has the least recognition in society.

My name is Deirdre Syms, and I am the Interim Executive Director of the BC Epilepsy Society, which is a provincially incorporated non-profit organization and a federally registered charitable organization. We support the over 50,000 people living with epilepsy in BC and their families, friends and loved ones and work to raise awareness of epilepsy in the communities in which we live.

We are excited to let you know that International PURPLE DAY® for Epilepsy Awareness is coming up and will be taking place during Epilepsy Awareness Month in March on March 26th, 2022.

International PURPLE DAY® for Epilepsy Awareness is a time when people in countries around the world wear purple and take part in events and activities to raise much-needed awareness of epilepsy.

Additionally, because International PURPLE DAY® for Epilepsy Awareness is also a time when many buildings and landmarks in countries around the world are lit with purple lights to raise awareness of epilepsy, the BC Epilepsy Society would like to request that Port Alberni City Hall be lit with purple lights on March 26th, 2022, in honour of epilepsy awareness.

Through your participation in International PURPLE DAY® for Epilepsy Awareness on March 26th, 2022, you will not only be able to show people living with epilepsy that they are not alone but will also get people talking about epilepsy in an effort to raise awareness of epilepsy in the community.

We look forward to working with you on International PURPLE DAY® for Epilepsy Awareness on March 26th, 2022, and in the future. Please feel free to contact me via email at [deirdre@bcepilepsy.com](mailto:deirdre@bcepilepsy.com) or via telephone at 1-788-533-0790 should you have any questions or require any additional information.

Sincerely,  
Deirdre Syms  
Interim Executive Director  
BC Epilepsy Society

Kind regards,  
Sonia Ali  
Provincial Manager of Programs and Services  
BC Epilepsy Society

#610 - 4180 Lougheed Highway  
Burnaby, BC V5C 4B3  
Office Hours: Monday - Friday 9:00am - 4:00pm  
Tel: 604-875-6704 Ext. 2  
Fax: 604-875-0617  
Website: [www.bcepilepsy.com](http://www.bcepilepsy.com)  
Email: [sonia@bcepilepsy.com](mailto:sonia@bcepilepsy.com)

Social Media:  
Instagram: BCEpilepsySociety  
Facebook: BC Epilepsy Society  
Twitter: BC Epilepsy

**The BC Epilepsy Society empowers, educates, and supports British Columbians living with epilepsy.**



RECEIVED

JAN 19 2022

CITY OF PORT ALBERNI



BC Epilepsy Society

January 13<sup>th</sup>, 2021

Via Email: [citypa@portalberni.ca](mailto:citypa@portalberni.ca)

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We look forward to working with you on International PURPLE DAY® for Epilepsy Awareness on March 26<sup>th</sup>, 2022, and in the future. Please feel free to contact me via email at [deirdre@bcepilepsy.com](mailto:deirdre@bcepilepsy.com) or via telephone at 1-788-533-0790 should you have any questions or require any additional information.

Sincerely,  
Deirdre Syms  
Interim Executive Director  
BC Epilepsy Society

#610 - 4180 LOUGHEED HIGHWAY BURNABY, BC V5C 4B3  
1-604-875-6704 | [WWW.BCEPILEPSY.COM](http://WWW.BCEPILEPSY.COM)

RECEIVED

JAN 11 2022

CITY OF PORT ALBERNI

October, 27<sup>th</sup> 2021

Mayor Sharie Minions  
City of Port Alberni  
4850 Argyle Street  
Port Alberni BC V9Y 1V8

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input checked="" type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input type="checkbox"/> Agenda	<input checked="" type="checkbox"/> Other <i>Corr. Summary</i>
File #	<i>0220-20</i>

Dear Mayor Minions,

I, Diane Proctor, resident of Port Alberni am sending you this letter to complain about the wage increase of 39% for the Mayor's salary and 40% for the Council's salaries which will take effect on January 1<sup>st</sup>, 2023. - 2022 ??  
ST.

I am really upset because, in my opinion, under no circumstances public servants should be able to increase their salaries without the consent of the tax payers, who are in fact, the people that have to pay for the pay rise.

It is my belief, that civil servants are people who work to provide leadership and services to support an ethical and effective Public Service. Their values should be respect for others, integrity, accountability, and dedication. The mission should be to SERVE THE PUBLIC. In order to achieve their mission they should be modeling and promoting those values. Therefore they should take any opportunity to serve the residents and care for the city, without taking advantage of their positions to fill their pockets, particu-



larly in times of economical crisis and state of uncertainty like now.

I understand that an independant consultant explained that compared to 10 other B.C. municipal governments, Port Alberni is "a little bit behind" when it comes to salaries for mayor and council. However, I wonder if in this comparison this professional took into account the average income of the population, the conditions of the roads system, the infrastructure development, and the working time of the municipal authorities. As you well know, the residents of Port Alberni are not rich people or have high incomes. We are just working people.

On the other hand, Port Alberni has an extreme neccesity to address very essential infrastructure issues, like traffic lights, street lights, bus shelters, painting lines on the roads, etc., just to mention some.

I think the money that you and the council have voted to increase the municipal official's salaries, should be better used to solve those problems, which benefit all the residents of Port Alberni and not only the elected functionaries.

If you choose to keep on going with this selfish decision, the only thing that I can say is "SHAME ON YOU ALL".

*P.S. As you can see I wrote this letter some time ago, and still feel the same way!! I have been reading the "NEWS PAPER" and it seems to me that you don't care what the people of this town think. It seems like there has been alot of unhappy feeling about the C. to C.*

RECEIVED

JAN 13 2022

CITY OF PORT ALBERNI

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input checked="" type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input type="checkbox"/> Other
File # 0230-01	RCM Jan 31/22 Corr. Summary

**From:** Elizabeth Newcombe <[elizabeth@vicrisis.ca](mailto:elizabeth@vicrisis.ca)>  
**Sent:** January 11, 2022 12:47 PM  
**To:** Sharie Minions <[sharie\\_minions@portalberni.ca](mailto:sharie_minions@portalberni.ca)>  
**Subject:** Update re Crisis Line Network and RFP process - GOOD NEWS!

Dear Mayor Sharie Minions and councillors,

This afternoon, our network met with the Provincial Health Services Authority (PHSA) for an update on the RFP process along with the other executive directors from crisis lines across the province.

As you know, we have been actively engaged in a campaign to have our service contracts with the province directly awarded to crisis centres rather than going to a public RFP bid process. **Thanks to these efforts, and your engagement and support, the PHSA has heard our concerns. As a result, the PHSA is changing their approach. They are not proceeding with an open RFP process. Rather, they will do a direct solicitation for services "Call for Offers" to their existing network of not-for-profit crisis line responders who they have an existing relationship with.**

This new approach honours our work and what we as a crisis line network bring to British Columbians, and we are supportive of this mutually beneficial solution. This will make sure that when someone in British Columbia calls to seek urgent-support, the call will be answered by a trained support worker based in British Columbia. We will also continue to modernize and improve our service offering to British Columbians.

We will still need to submit a proposal along with our crisis line network partners, and we will continue to respect and participate in the PSHA process as a strong partner supporting British Columbians in need of crisis services.

**On behalf of the network, thank you for lending an ear to our concerns and thank you for all of your efforts that led to this new direction from the PHSA and BC Government. We will continue to deliver our excellent services with a more united and connected network across the province alongside the other crisis lines.**

If you have questions, please reach out to us. We will be happy to chat with you and will update you on any further developments.

Elizabeth Newcombe (She/Her)  
Executive Director

Vancouver Island Crisis Society  
PO Box 1118, Nanaimo, BC V9R 6E7  
V 250 753 2495 x114 Toll-Free 1 877 753 2495  
F 250 753 2475



Office Hours: Monday to Thursday, 9 to 12 and 1 to 4

*Vancouver Island Crisis Society -- Helping People Find Their Way*  
*Crisis Lines, Crisis Chat and Crisis Text Services at [www.vicrisis.ca](http://www.vicrisis.ca)*

*I acknowledge that I live, learn, work and play on the unceded and traditional territories of the Coast Salish, Nuu-chah-nulth, and Kwakiutl Peoples.*



**MINUTES OF THE AUDIT COMMITTEE**  
**Wednesday, October 6, 2021 @ 4:30 PM**  
**in the City Hall Committee Room**

---

**PRESENT:** Councillor D. Washington, Chair  
Councillor R. Corbeil  
Councillor C. Solda

**RESOURCE STAFF:** Andrew McGifford, Director of Finance  
Tanis Feltrin, Receptionist

**MEDIA:** David Wiwchar, The Peak 93.3FM

**A. CALL TO ORDER & APPROVAL OF THE AGENDA**

The meeting was called to order at 4:34 PM.

*MOVED AND SECONDED, THAT the agenda be approved as printed and circulated.*  
**CARRIED**

**B. ADOPTION OF MINUTES**

*MOVED AND SECONDED, THAT the minutes of the Audit Committee meeting held on April 19, 2021, be adopted.*  
**CARRIED**

**C. UNFINISHED BUSINESS**

**D. QUARTERLY ANALYSIS OF MAYOR AND COUNCIL TRAVEL + DEVELOPMENT EXPENSES**

1. The Director of Finance provided an overview up to August 31, 2021.

**E. REPORTS**

***General Fund - Revenue***

*Additional information was requested regarding the following:*

Director of Finance provided a summary of the General Revenue Fund, advising of the higher than expected revenue shortfall for Parks and Recreation services. Based on the year to date as of August 31, 2021 it is unlikely the budgeted income will be realized in 2021. A portion of the COVID-19 Safe Restart Grant may be required to cover the revenue shortfall.

- What funds have been allocated at present to Parks and Recreation services?  
*In 2020 Parks and Recreation was allocated \$410,000 of the COVID Safe Restart Grant funds however, there is \$2.5 million remaining for 2021.*
- Are there shortfalls in other departments?  
*An assessment will take place as yearend approaches. It is anticipated that funding will be required to supplement reduced revenue streams due to COVID-19.*
- Are we using the COVID-19 Safe Restart Grant in place of gaming funds that we would have normally received?  
*Yes, the gaming centre was not open due to COVID-19 and the funding commitments that normally use these funds were made in 2021 with the understanding that the gaming revenue may not be received. The COVID-19 Safe Restart funds can be used where gaming funds are not realized.*

---

### **General Fund - Expenditures**

*Additional information was requested regarding the following:*

- Road Surfaces Maintenance are at 50% of the budgeted amount, will it be at 100% by the end of the year?  
*The expenses reflected are as of August 31, 2021. The budgeted expenditures may still be realized by yearend.*
- Were COVID-19 Safe Restart Grant funds used to support BC Transit expenditures?  
*Yes, BC Transit revenue was supplemented in 2020 with COVID-19 Safe Restart Grant funding. In 2021 separate senior government funding was provided for transit service in order to address operational funding shortfalls and allow local governments to continue without service reductions.*
- Are the variances reflected in waste collections due to the roll out of the organics collection service?  
*Yes, the three-stream waste collection program was planned to begin earlier in 2021, both revenues and expenses will not meet expectation in 2021.*
- Security lighting program does not appear to have been utilized this year.  
*Community Safety did not have a staff lead to undertake the program. Adjustment have been made to support more efficient submissions and approvals. These funds could be utilized in 2022 should Council direct that during the 2022-2026 Financial Planning process.*

### **Sewer Revenue Fund Update**

*Additional information was requested regarding the following:*

- With all the new development happening wouldn't we see an increase in revenue?  
*Revenue rates can vary based on a number of factors such as new builds utilizing low flow fixtures and a general increased diligence from residents concerning water consumption.*

### **Water Revenue Fund Update**

*Additional information was requested regarding the following:*

- Metered Sales – is this a discrepancy (Low revenue vs. budget)?  
*No, the amount captured only includes the first billing cycle of 2021 [January to April]. The next Audit meeting will reflect May to August which is the highest period of the year due to summer demand.*

### **Capital All Funds Update**

*Additional information was requested regarding the following:*

- Regarding equipment purchases, can the vendor go back on their quoted price?  
*No, once we have accepted the bid or tender the contract price is finalized.*
- Will we get to all of the projects listed this year?  
*Unlikely to occur, some are weather dependent, some are still be planned, Council will see all outstanding projects in the 2022-2026 Financial Plan.*
- Mill Stone Park – is this project complete?  
*Staff changes in the Parks Department and the year-end confirmation of completion was not provided for 2020. The Manager of Parks will confirm status for 2021-year end.*
- Is the lighting upgrade complete at the Multiplex?  
*Yes, and we are receiving a grant from BC Hydro for the upgrade.*

**F. VENDOR CHEQUE REGISTER REPORT**

The Director of Finance provided an overview regarding the vendor cheque register report from April 1, 2021 to August 31, 2021.

- What were the payments made to Colin Bates?  
*Economic Development consulting work for Seaweed Research.*
- Cheque to Addy Power?  
*Multiplex light fixtures and controls.*
- Cheque to Badger Daylighting?  
*Contractor used when our pumper truck is not available.*
- Cheques to Danielle Karass Communication?  
*Contractor fulfilling the vacant Communications Manager position.*
- Cheques to Mary Clare Massicotte?  
*Programs with the Community Action Team.*
- Cheque to Paper Excellence?  
*This was a refund cheque, they were inadvertently paying the San Groups water bill. This has been corrected and the San Group will be billed for their water use.*
- Cheque to Randy Reynolds?  
*Programs with the Community Action Team.*

**G. INVESTMENTS REPORT**

The Director of Finance provided a verbal update regarding the City's investments.

**H. OTHER COMPETENT BUSINESS**

The Committee requested a separate report of the McLean Mill expenditures.  
*Director of Finance to provide at the next Audit Committee meeting.*

**I. QUESTION PERIOD**


**J. ADJOURNMENT**

**MOVED AND SECONDED THAT the meeting be adjourned at 5:53 pm.**  
**CARRIED**

Respectfully submitted,



Councillor Dan Washington, Chair



Twyla Slonski, Corporate Officer

RECEIVED

JAN 17 2022

CITY OF PORT ALBERNI

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input checked="" type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input checked="" type="checkbox"/> Other <i>Corr. Summary</i>
File # <u>4900-01</u>	

From: Ron Merk <[ron.merk@telus.net](mailto:ron.merk@telus.net)>

Sent: January 16, 2022 9:02 AM

To: Sharie Minions <[sharie\\_minions@portalberni.ca](mailto:sharie_minions@portalberni.ca)>; Debbie Haggard <[debbie\\_haggard@portalberni.ca](mailto:debbie_haggard@portalberni.ca)>; Helen Poon <[helen\\_poon@portalberni.ca](mailto:helen_poon@portalberni.ca)>; Cindy Solda <[cindy\\_solda@portalberni.ca](mailto:cindy_solda@portalberni.ca)>; Dan Washington <[dan\\_washington@portalberni.ca](mailto:dan_washington@portalberni.ca)>; Ron Corbeil <[ron\\_corbeil@portalberni.ca](mailto:ron_corbeil@portalberni.ca)>; Ron Paulson <[ron\\_paulson@portalberni.ca](mailto:ron_paulson@portalberni.ca)>; Sara Darling <[sara\\_darling@portalberni.ca](mailto:sara_darling@portalberni.ca)>

Cc: Mary Clare <[ptalbcat@gmail.com](mailto:ptalbcat@gmail.com)>; Ellen Frood <[efrood@acaws.ca](mailto:efrood@acaws.ca)>; [Josie.Osborne.mla@leg.bc.ca](mailto:Josie.Osborne.mla@leg.bc.ca); [gord.johns@parl.gc.ca](mailto:gord.johns@parl.gc.ca)

Subject: Provisioning of Public Washroom Facilities, Accessible 24/7 Port Alberni

Dear Mayor and Council:

Attached is a PDF letter addressing our concerns and requesting action by you on the provisioning of public washroom facilities, accessible 24/7

**We ask that this letter be read and entered into the official minutes of the Port Alberni City Council.**

Please direct replies to my email address, [ron.merk@telus.net](mailto:ron.merk@telus.net)

**Ron Merk**

Co-Chair  
Port Alberni  
Community Action Team  
4762 Elizabeth St  
Port Alberni BC V9Y 6L9



email: [ron.merk@telus.net](mailto:ron.merk@telus.net)

tel : 250-731-8627

PREVENT OVERDOSE DEATHS – Use LIFEGUARD

Our website: <https://ptalbcat.blogspot.com/>

Our Facebook: <https://www.facebook.com/CATportalberni>

*Community Action Teams are a community-led initiative in response to the overdose crisis*



Jan 16, 2022

City of Port Alberni  
4850 Argyle Street  
Port Alberni, BC V9Y 1V8

Attn: Mayor and City Council

Via email:

**Re: Public Washroom Facilities Accessible 24/7**

Dear Mayor and Council:

We ask the city provide and service permanent public washroom facilities, available 24/7. We think there are at least two locations in our community where facilities must be provisioned. The first is somewhere on 3<sup>rd</sup> Avenue between Athol Street and Angus Street. Perhaps these facilities could be included in the new Public Safety Building tender? The second location would be near the Overdose Prevention Site, 3rd Avenue and Bute Street.

Rationale:

- Access to washrooms is a fundamental human right. We believe provisioning them is part of basic municipal public infrastructure, just like parks, roads, sewers, rec centres, public art. They are part of the public realm.
- We have received substantial feedback from peers, the homeless and the marginalized community on how difficult and dehumanizing it is to find facilities in Port Alberni.
- The problem is particularly apparent given the COVID pandemic. Other options people once used are just no longer available.
- Other cities have proactively provided state-of-the-art public washroom facilities in their communities to address these basic human needs. Example – Courtenay has just completed such a project.
- This concern has been raised several times at our regular monthly Community Action Team meetings. Our individual and organizational members support the concept of available washroom facilities 24/7 and see immediate implementation as imperative.
- We are aware that the business community has also raised this issue—no washroom facilities for some, impact all of us in our community. Sometimes, people react to the problem by suggesting stronger bylaws and enforcement. We want to head off what some might see as an easy path and strongly urge addressing the root cause – lack of facilities.

The Port Alberni Community Action Team can not overstate the importance of essential services for the marginalized in our community. The measure of us as a community is how we treat our weakest members.

C/O City of Port Alberni | 4850 Argyle Street,  
Port Alberni, BC V9Y 1V8.

email: [ron.merk@telus.net](mailto:ron.merk@telus.net)  
[ptalbcac.blogspot.com](http://ptalbcac.blogspot.com)



*Community Action Teams are a community-led initiative in response to the overdose crisis*



Research and Resource Links:

<https://journals.plos.org/plosone/article?id=10.1371/journal.pone.0252946>

<https://healthydebate.ca/2021/03/topic/paucity-of-public-washrooms/>

<https://www.cbc.ca/radio/asithappens/as-it-happens-thursday-edition-1.5643649/pandemic-proves-canada-desperately-needs-more-public-washrooms-author-1.5645470>

<https://www.ctvnews.ca/health/coronavirus/pandemic-public-washroom-closures-a-critical-issue-for-people-with-ibd-those-experiencing-homelessness-1.5421311>

<https://globalnews.ca/news/5320447/women-need-twice-as-many-public-washrooms-as-men/>

Sincerely,

Ron Merk  
Co-Chair  
Port Alberni Community Action Team

CC: Gord Johns, MP, Courtenay-Alberni  
Josie Osborne, MLA, Mid Island-Pacific Rim  
Sara Darling City of Port Alberni, Deputy City Clerk



# Nuu-chah-nulth Tribal Council

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P.O. BOX 1383  
PORT ALBERNI, BC  
V9Y 7M2

TEL: 250-724-5757  
Fax: 250-723-0463

**RECEIVED**

**JAN 17 2022**

**CITY OF PORT ALBERNI**

Jan 17, 2022  
City of Port Alberni  
4850 Argyle Street Port Alberni, BC V9Y 1V8

☒ Council  
☒ Mayor  
☒ CAO  
☐ Finance  
☒ Corporate Services  
☒ Agenda  
☐ Economic Development  
☐ Engineering/PW  
☐ Parks, Rec. & Heritage  
☐ Development Services  
☐ Community Safety  
☐ Other  
*RCM Jan 31/22*  
*4900-01*  
*Cor Summary*

Attn: Mayor Sharie Minions and City Council

Via email: [sharie\\_minions@portalberni.ca](mailto:sharie_minions@portalberni.ca), [ron\\_paulson@portalberni.ca](mailto:ron_paulson@portalberni.ca), [ron\\_corbeil@portalberni.ca](mailto:ron_corbeil@portalberni.ca),  
[helen\\_poon@portalberni.ca](mailto:helen_poon@portalberni.ca), [debbie\\_haggard@portalberni.ca](mailto:debbie_haggard@portalberni.ca), [dan\\_washington@portalberni.ca](mailto:dan_washington@portalberni.ca),  
[cindy\\_solda@portalberni.ca](mailto:cindy_solda@portalberni.ca)

Cc: Port Alberni Community Action Team (CAT) Coordinator Mary Massicotte via email  
[ptalbcat@gmail.com](mailto:ptalbcat@gmail.com)

**Re: Public Washroom Facilities Accessible 24/7**

Good day Mayor and Council,

On behalf of the Nuu-chah-nulth Tribal Council, we write this letter today to support the request that the city provide and service permanent public washroom facilities, available 24/7, in this community of need.

There are at least two locations where facilities must be provisioned and would contribute to the determinants of health for many marginalized and homeless people, many of whom are Nuu-chah-nulth. The first is somewhere on 3<sup>rd</sup> Avenue between Athol Street and Angus Street. Perhaps these facilities could be included in the new Public Safety Building tender? The second location would be near the Overdose Prevention Site, 3<sup>rd</sup> Avenue and Bute Street.

We understand that having access to washrooms is a fundamental human right. We believe provisioning them is part of basic municipal public infrastructure, just like parks, roads, sewers, rec centres, public art. They are part of the public realm. Marginalized and homeless population continue to feel dehumanized when seeking this basic necessity in the community. Covid-19 has highlighted this issue further.

Other cities, like Courtenay, have provided public washroom facilities for their valuable members to address this need and we are asking Port Alberni to follow suit. We are aware that the business community has also raised this issue—no washroom facilities for some, impact all of us in our community. Sometimes, people react to the problem by suggesting stronger bylaws and enforcement.

We want to head off what some might see as an easy path and strongly urge addressing the root cause – lack of facilities.

Thank you for your time and consideration of this important issue.

Chuu,

A handwritten signature in black ink, appearing to read "Judith Sayers".

Cloy-e-iis, Judith Sayers, President, Nuuchahnulth Tribal Council  
[judith.sayers@nuuchahnulth.org](mailto:judith.sayers@nuuchahnulth.org)

A handwritten signature in blue ink, appearing to read "Mariah Charleson".

Mariah Charleson, Vice President, Nuuchahnulth Tribal Council  
[Mariah.charleson@nuuchahnulth.org](mailto:Mariah.charleson@nuuchahnulth.org)

## **Councillor Report**

For January 31, 2022

### **Councillor Debbie Haggard**

**December 14, 2021** – I met with John Douglas from the **Port Alberni Shelter Society**. He gave me an update on the activities that PASS is currently providing for the community. I invited him to do a presentation to Council in order to provide an update, not only to Council but also so the community is aware of the positive work that PASS is doing.

**December 15, 2021** – Mayor Minions and I supported the **Salvation Army Kettle Campaign**. The Salvation Army was successful in raising \$143,274.66 to help those in need in our community. They provided hampers, toys, services and supports for those in need. Thank you to Port Alberni for your generosity!

**December 20, 2021** – I took Tim Pley, former CAO of the City, for a good-bye lunch. I thanked him not only for his hard work, but also for his friendship and mentorship during my time with Council.

**December 21, 2021** – I met with Shelley Chrest, Chairperson of the **Port Alberni Port Authority**. The purpose of the meeting was to help strengthen the relationship between the PAPA and the City.

**January 12, 2022** – **Alberni Valley Chamber of Commerce Strategic Planning Session #1** – Members of the Board discussed:

- Where we see our organization now?
- Where we would like to see the organization in 5 years?
- Values that guide the work of the Chamber?
- Why does the Chamber exist?
- Who does the Chamber serve?
- What are the most important issues/decisions for the Chamber over the next 1 – 3 years?

### **January 12 – 13, 2022 – Truck Loggers Association annual convention**

- **BC's Markets and Investment Climate** – This session explored how business investment decisions are based on the current climate for forest product markets and the global economy.
- **Modernizing Forest Policy in BC: Industry Perspective** – In this session, industry professionals provided their perspectives on the merits of current and future changes in the forestry sector.
- **Solutions for Old Growth and the Working Forest** – Following the provincial government's announcement to defer old-growth harvesting, this session explored how the deferrals will impact and influence the forestry sector.
- **Modernizing Forest Policy in BC: Will It Work?** – Industry professionals considered whether government's intentions and transition strategies will move the forest industry forward.

**January 13, 2022 – Community Action Team meeting – Highlights include:**

- “Culturally Safe Engagement: What Matters to Indigenous (First Nations, Metis and Inuit) Patient Partners presentation
- Presentation on the Central Island Overdose Deeper Dive project by VIHA and VIU

**January 19, 2022 – Alberni Clayoquot Health Network meeting – Highlights include:**

- The Alberni Clayoquot Health Network Coordinator contract was awarded to Marcie DeWitt for a three-year term
- The poverty reduction action plan is completed and is at the graphic designers. It should be ready by the end of January. At that time, Marcie will be doing presentations throughout the region.
- The 2022 – 2024 budget was approved

**January 20, 2022 – Advisory Planning Commission meeting:**

- A Development Variance Permit for 4841 Redford Street for setback reduction to facilitate a lot line reduction
- The City has received an application for amendment to the Official Community Plan and Zoning Bylaw to enable a high-density multi-family in-fill development at 4835 & 4825 Burde Street and 3618 & 3614 5<sup>th</sup> Avenue.

**January 20, 2022 –** I met with a local resident to discuss some ideas that the City might entertain working on in the future in order to help promote tourism.

**January 24, 2022 – Committee of the Whole meeting -** Director of Finance presented a very high-level overview of the budget plan for 2022 – 2026.

**January 25, 2022 -** A Public Hearing was held to amend the Official Community Plan and the Zoning Bylaw to facilitate the use of the site at 4440 Vimy Street for a ‘Transition Housing’ facility.



## Council report

24 Jan 2022: Attended the Committee of the Whole meeting along with rest of Council to be presented with Director of Finance's highlights of 2022-2026 Financial Plan.

25 Jan 2022: Met for lunch with John Rustad, MLA Nechako Lakes, the opposition critic for Forests, Lands, Natural Resources.

25 Jan 2022: Attended the Forestry Rally at Williamson Park. The event was well attended by both forestry workers and community leaders.

25 Jan 2022: Attended the public hearing for ACAWS development at Vimy St.

Helen Poon  
Councillor, City of Port Alberni