



## AGENDA - REGULAR MEETING OF COUNCIL

Monday, February 23, 2026 @ 2:00 PM

In the City Hall Council Chambers & Via Video-Conference

4850 Argyle Street, Port Alberni, BC

*The following pages list all agenda items received by the deadline [12:00 noon on the Wednesday before the scheduled meeting]. A sample resolution is provided for most items in italics for the consideration of Council. For a complete copy of the agenda including all correspondence and reports please refer to the City's website [portalalberni.ca](http://portalalberni.ca) or contact Corporate Services at 250.723.2146 or by email [corp\\_serv@portalalberni.ca](mailto:corp_serv@portalalberni.ca)*

*Watch the meeting live at [www.portalalberni.ca](http://www.portalalberni.ca)*

*Register to participate via webinar at: <https://portalalberni.ca/council-agendas-minutes>*

### **A. CALL TO ORDER & APPROVAL OF THE AGENDA**

1. Council would like to acknowledge and recognize that we work, live and play in the City of Port Alberni which is situated on the unceded territories of the Tseshah [čišaa?atḥ] and Hupačasath First Nations.
2. Late items identified by Councillors.
3. Late items identified by the Corporate Officer.
4. Notice of Video Recording (live-streaming and recorded/broadcast on YouTube).

*That the agenda be approved as circulated.*

### **B. ADOPTION OF MINUTES** - Page 6

1. *THAT the minutes of the Special meeting and Regular Council meeting held on February 9, 2026 be adopted, as presented.*

### **C. DELEGATIONS**

1. **Introduction | Project Managers**

Chief Administrative Officer to introduce the City's new Project Managers, Brandon Donais and Adem Idris.

2. **Alberni-Clayoquot Regional District** - Page 11

Teri Fong, Chief Financial Officer, and Daniel Sailland, CAO, in attendance to present the draft 2026-2030 Financial Plan.

**D. UNFINISHED BUSINESS**

*Includes items carried forward from previous Council meetings.*

1. **Temporary Use Permit | 3868 Wood Avenue - Page 41**

**[Postponed from the January 26, 2026 Regular Council Meeting]**

Report dated January 19, 2026 from the Development Planner requesting Council consider issuance of TUP24-01.

**Opportunity for members of the public to speak to the application.**

a. *THAT Council not issue Temporary Use Permit No. 24-01 at 3868 Wood Avenue.*

b. *THAT Council direct the Community Safety and Social Development department to not enforce the Zoning Bylaw at 3868 Wood Avenue until July 1, 2026 to allow tenants to find alternate accommodation.*

**E. STAFF REPORTS**

*Members of the public may be recognized by Council to speak to a report if the report is a response to their correspondence or an application.*

1. **R.C.M.P. Quarterly Report - Page 51**

Quarterly report from the R.C.M.P. Officer in Charge providing a summary of department activities from October through to December 2025.

*THAT Council receive the R.C.M.P. Quarterly report for the period October 1 – December 31, 2025 as information.*

**F. BYLAWS**

*Bylaws are required for the adoption of regulations, financial plans, changes to land use policy and to approve borrowing. A bylaw requires four separate resolutions to be adopted and must be considered over a minimum of two [2] Council meetings. Each reading enables Council to reflect on the bylaw before proceeding further.*

1. **OCP and Zoning Bylaw Amendments | 6123 & 6151 Russell Place - Page 66**

Report dated February 16, 2026 from the Manager of Planning requesting Council consideration of bylaw amendments for 6123 & 6151 Russell Place and authorization to advance the bylaws to a Public Hearing.

a. *THAT second reading of “Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119” be repealed.*

b. *THAT “Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119” be read a second time, as amended.*

c. *THAT “Official Community Plan Amendment Bylaw No. 5144” be now introduced and read a first time.*

d. *THAT “Official Community Plan Amendment Bylaw No. 5144” be read a second time.*

e. *THAT Bylaws No. 5119 and 5144 be advanced to a Public Hearing on March 23, 2026 at 6:00 pm in City Hall, Council Chambers.*

## **G. CORRESPONDENCE FOR ACTION**

*Correspondence addressed to the Mayor and Council where there is a specific request may be included on an agenda. Correspondence regarding personnel matters, legal action and/or items of a confidential nature will not be included. Correspondence addressed to Council that is administrative or operational in nature will be circulated to Council weekly and referred to the appropriate department for review and follow-up where necessary.*

### **1. Little Bavaria Restaurant | 60<sup>th</sup> Anniversary Community Celebration - Page 82**

Email dated February 9, 2026 from Little Bavaria Restaurant requesting a temporary road closure on Saturday, August 15, 2026 to facilitate a 60<sup>th</sup> anniversary community celebration.

*THAT Council authorize Little Bavaria Restaurant access to City streets on Saturday, August 15, 2026 from 12:00 pm to 7:00 pm for the purpose of a community celebration marking the restaurant's 60<sup>th</sup> anniversary, subject to:*

- *the notification of emergency services and BC Transit;*
- *consultation with all affected businesses/residents;*
- *provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control personnel as required;*
- *provision of standard liability insurance in the amount of \$5M;*
- *review by event organizers of the [Report of the Study Commission of Inquiry into Community Events Safety](#) dated June 26, 2025; and,*
- *Receipt of Special Event Permit from the LCRB.*

### **2. BC Farmers' Markets - Page 83**

Letter dated February 2, 2026 from the BC Farmers' Markets reporting the results of the 2025 BC Farmers' Market Nutrition Coupon Program and requesting that the City send a thank you letter to the Honourable Josie Osborne, Minister of Health.

*THAT Council direct staff to prepare a letter of thanks to the Honourable Josie Osborne, Minister of Health in support of the BC Farmers' Market Nutrition Coupon Program.*

## **H. PROCLAMATIONS**

## **I. CORRESPONDENCE FOR INFORMATION**

*Correspondence found here provides information to Council. Correspondence regarding personnel matters, legal action and/or items of a confidential nature will not be included. Correspondence addressed to Council that is administrative or operational in nature will be circulated to Council weekly and referred to the appropriate department for review and follow-up where necessary.*

### **1. Correspondence Summary - Page 84**

- a. Town of View Royal | Response to City letter re: Provincial Housing Legislation Coordinated Judicial Review
- b. ACRD Board Highlights | January 2026

## **J. REPORT FROM IN-CAMERA**

**K. COUNCIL REPORTS**

**1. Council and Regional District Reports**

*THAT the Council reports outlining recent meetings and events related to the City's business, be received.*

**L. NEW BUSINESS**

*New items of business requiring Council direction as well as an opportunity for Council to raise issues as a result of the business of the meeting or to identify new items for subsequent meetings by way of a 'Notice of Motion'.*

**1. Transportation Master Plan Survey #2 - Page 89**

Report dated February 13, 2026 from the Manager of Engineering providing Council with the content and objectives of an upcoming public survey for the Transportation Master Plan.

*THAT Council receive the report 'Transportation Master Plan Survey #2' dated February 13, 2026.*

**2. Municipal Campground Development**

**[Recommendation from the February 17, 2026 CoW Meeting]**

*THAT Council direct Administration to prepare a business case to implement and finance Phase 1 of the Municipal Campground Strategy for Paper Mill Damn Park.*

[February 17, 2026 Staff Report Pg. 35](#)

**3. Clutesi Haven Marina | Assumption of Operations**

**[Recommendation from the February 17, 2026 CoW Meeting]**

*a. THAT Council authorize the internal borrowing of \$500,000 to fund the capital transition and modernization of Clutesi Haven Marina, including the acquisition of critical infrastructure and implementation of parking management systems.*

*b. THAT Council direct Administration to implement a 2026 rate structure for Clutesi Haven Marina that reflects a Consumer Price Index (CPI) increase to 2025 rates, with a freeze on parking fees until 2027.*

*c. THAT Council amend the "City of Port Alberni 2026-2030 Financial Plan Bylaw No. 5138" as follows:*

- i. 2026 - Add new account – Clutesi Haven Marina Revenue - \$428,500*
- ii. 2026 - Add new account – Clutesi Haven Marina Expenditures - \$323,775*
- iii. 2026 - Line 19114 - Transfers from Prior Year - \$145,275*
- iv. 2026 – Add new account – Clutesi Haven Marina Debt Repayment – \$250,000*

- v. 2027 - Add new account – Clutesi Haven Marina Revenue - \$474,213*
- vi. 2027 - Add new account – Clutesi Haven Marina Expenditures - \$337,448*
- vii. 2027 - Line 19114 - Transfers from Prior Year - \$119,485*
- viii. 2027 – Add new account – Clutesi Haven Marina Debt Repayment – \$256,250*

- ix. 2028 - Add new account – Clutesi Haven Marina Revenue - \$486,068*
- x. 2028 - Add new account – Clutesi Haven Marina Expenditures - \$446,277*

- xi. 2028 - Line 19114 - Transfers from Prior Year - \$222,866
- xii. 2028 – Add new account – Clutesi Haven Marina Debt Repayment – \$262,656
- xiii. 2029 - Add new account – Clutesi Haven Marina Revenue - \$498,220
- xiv. 2029 - Add new account – Clutesi Haven Marina Expenditures - \$414,559
- xv. 2029 - Line 19114 - Transfers from Prior Year - \$147,434
- xvi. 2029 – Add new account – Clutesi Haven Marina Debt Repayment – \$231,094
- xvii. 2030 - Add new account – Clutesi Haven Marina Revenue - \$510,675
- xviii. 2030 - Add new account – Clutesi Haven Marina Expenditures - \$423,048

[February 17, 2026 Staff Report Pg. 38](#)

**M. QUESTION PERIOD**

*An opportunity for the public to ask questions of Council on decisions or recommendations made during the course of the meeting. A maximum of three [3] questions will be permitted per speaker.*

**N. ADJOURNMENT**

*That the meeting adjourn at      PM.*

**MINUTES OF THE SPECIAL IN-CAMERA MEETING OF COUNCIL**  
**Monday, February 9, 2026 @ 11:00 a.m.**  
**City Hall Committee Room | 4850 Argyle Street, Port Alberni, BC**

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**PRESENT:**

Council: Mayor S. Minions  
Councillor D. Dame  
Councillor D. Haggard  
Councillor C. Mealey  
Councillor T. Patola  
Councillor C. Solda  
Councillor T. Verbrugge

Staff: A. McGifford, Chief Administrative Officer  
S. Smith, Director of Development Services | Deputy CAO  
R. Macauley, Director of Finance  
M. Massicotte, Manager of Community Safety and Social Development  
S. Darling, Director of Corporate Services

The meeting was called to order at 11:00 a.m.

*MOVED AND SECONDED, THAT Council conduct a Special Council meeting closed to the public on the basis that one or more matters covered under Section 90 of the Community Charter will be considered, and specifically outlined as follows:*

**Section 90 (1)(a)** personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;

**Section 90 (1)(d)** the security of the property of the municipality;

**Section 90 (1)(e)** the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality.

The meeting adjourned at 5:40 p.m.

CERTIFIED CORRECT

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\_\_\_\_\_  
Mayor

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\_\_\_\_\_  
Corporate Officer

**MINUTES OF THE REGULAR MEETING OF COUNCIL**  
**Monday, February 9, 2026 @ 2:00 PM**  
**In the City Hall Council Chambers & Via Video-Conference**  
**4850 Argyle Street, Port Alberni, BC**

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Present: Mayor S. Minions  
Councillor D. Dame  
Councillor D. Haggard  
Councillor C. Mealey  
Councillor T. Patola  
Councillor C. Solda  
Councillor T. Verbrugge

Staff: A. McGifford, Chief Administrative Officer  
S. Smith, Director of Development Services/Deputy CAO  
S. Darling, Director of Corporate Services  
M. Owens, Fire Chief  
R. Macauley, Director of Finance  
J. MacDonald, Director of Infrastructure Services  
L. Dauphin, Director of Parks, Recreation & Culture  
P. Deakin, Manager of Economic Development  
B. McLoughlin, Manager of Planning  
K. Motiuk, Deputy Director of Corporate Services (Recording Secretary)  
J. Pelech, Manager of Information Services

Gallery: 8

**A. CALL TO ORDER & APPROVAL OF THE AGENDA**

The meeting was called to order at 2:00 PM.

*MOVED AND SECONDED, THAT the agenda be approved as circulated.*  
**CARRIED**

**B. ADOPTION OF MINUTES**

1. *MOVED AND SECONDED, THAT the minutes of the Special meeting and Regular Council meeting held on January 26, 2026 be adopted, as presented.*  
**CARRIED**

**C. DELEGATIONS**

1. **Introduction | Business Development and Property Advisor & Deputy Director of Finance**  
The Manager of Economic Development introduced the City's new Business Development and Property Advisor, Dave Osborne, and the Chief Administrative Officer introduced the new Deputy Director of Finance, Tamara Nelson.

**D. UNFINISHED BUSINESS**

**E. STAFF REPORTS**

**1. Quarterly Departmental Reports**

*MOVED AND SECONDED, THAT Council receive the Q4 Quarterly Reports from the Development Services, Finance, Fire, Infrastructure Services, and the Parks, Recreation & Culture departments for the period October 1 – December 31, 2025 as information.*

**CARRIED | Res. No. 26-42**

**F. BYLAWS**

**1. 2026 – 2030 Financial Plan | Adoption**

*MOVED AND SECONDED, THAT "City of Port Alberni 2026-2030 Financial Plan Bylaw No. 5138" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5138.*

**CARRIED | Res. No. 26-43**

**G. CORRESPONDENCE FOR ACTION**

**1. Ridge View Health & Performance | McLean Mill 10K**

*MOVED AND SECONDED, THAT Council authorize Ridge View Health & Performance access to McLean Mill National Historic Site on Sunday, March 29, 2026 from 8:00 am to 5:00 pm for the purpose of a 10K running event starting at the McLean Mill and following the route as outlined in the attached map subject to:*

- the notification of emergency services and BC Transit;*
- consultation with all affected businesses/residents;*
- provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control personnel as required;*
- provision of standard liability insurance in the amount of \$5M; and*
- review by event organizers of the [Report of the Study Commission of Inquiry into Community Events Safety](#) dated June 26, 2025.*

**CARRIED | Res. No. 26-44**

**2. Conseil scolaire francophone de la Columbie-Britannique | Francophonie Flag Request**

*MOVED AND SECONDED, THAT Council authorize the request from the Conseil scolaire francophone de la Columbie-Britannique to raise the Francophonie flag at City Hall from March 1-31, 2026 in support of the francophone community in Port Alberni.*

**CARRIED | Res. No. 26-45**

**H. PROCLAMATIONS**

**1. BC Epilepsy Society**

*MOVED AND SECONDED, THAT Council, on behalf of the BC Epilepsy Society, proclaim March 26, 2026 as 'International Purple Day®' in Port Alberni.*

**CARRIED | Res. No. 26-46**

**2. Vancouver Island Down Syndrome Society**

*MOVED AND SECONDED, THAT Council, on behalf of Vancouver Island Down Syndrome Society, proclaim March 21, 2026 as 'World Down Syndrome Day' in Port Alberni.*

**CARRIED | Res. No. 26-47**

**I. CORRESPONDENCE FOR INFORMATION**

The Director of Corporate Services summarized correspondence to Council as follows:

- a. UBCM President | Forestry Industry and Sustainable Fibre Resolution Endorsement
- b. BC Ferries | Response to City letter re: BC Ferries Booking Changes
- c. Central Vancouver Island Crime Stoppers | 2025 Summary Report
- d. Ministry of Tourism, Arts, Culture and Sport | Follow up to the 2025 UBCM Convention Meeting
- e. City of Kamloops | Copy of 2026 Resolution regarding review of the *Heritage Conservation Act*

*MOVED AND SECONDED, THAT Council receive the Council Correspondence Summary as information.*

**CARRIED | Res. No. 26-48**

**J. REPORT FROM IN-CAMERA**

*The following motions previously passed by Council during a Closed meeting, were released to the public, pursuant to Section 117 of the Community Charter.*

**August 11, 2025**

- Authorization to execute a lease agreement between the City of Port Alberni and the Canadian Mental Health Association – Port Alberni, for a six-year term for City parks caretaker residences located at Roger Creek Park, Russell Park, Williamson Park, Blair Park, Klitsa Park and Paper Mill Dam Park; to include decommissioning of the Papermill Dam Park caretaker house once vacant.

**January 26, 2026**

- Direction for Administration to prepare a response to the Town of View Royal's December 4, 2025 letter, expressing Council's potential interest in joining a coalition of British Columbia municipalities and regional districts to evaluate and potentially pursue a coordinated Judicial Review of provincial housing legislation, including Bills 44, 47, 13, 15, and M216, subject to additional information.

**K. COUNCIL REPORTS**

**1. Council and Regional District Reports**

*MOVED AND SECONDED, THAT the Council reports outlining recent meetings and events related to the City's business, be received as information.*

**CARRIED | Res. No. 26-49**

**L. NEW BUSINESS**

Councillor Dame left the meeting at 2:25 p.m. declaring a conflict of interest as it relates to the subject property sharing a boundary line with his personal business' leased property.

**1. Notice of Motion provided January 26, 2026 | Cllr. Haggard**

*MOVED AND SECONDED, THAT Council direct Administration to coordinate Council site visits to supportive housing locations, ensuring Council has the necessary information to inform a lease agreement with BC Housing for the proposed supportive housing project on 2<sup>nd</sup> Avenue.*

*MOVED AND SECONDED, THAT Council amend the motion to remove reference to the 2<sup>nd</sup> Avenue supportive housing lease agreement.*

**CARRIED | Res. No. 26-50**

Councillor Dame returned to the meeting at 2:57 p.m.

**Main Motion as Amended**

*MOVED AND SECONDED, THAT Council direct Administration to coordinate Council site visits to supportive housing locations.*

**CARRIED | Res. No. 26-51**

**M. QUESTION PERIOD**

**N. Anderson**

Inquired about annual increases in staffing, the selection of comparable supportive housing operations chosen for Council to tour, and lease negotiations with BC Housing for supportive housing.

**R. Doiron**

Inquired about supportive housing lease options and models including low barrier housing.

**B. Kanneisser**

Inquired about trail counter statistics referenced in the Parks quarterly report, projected staff increases, and building bylaw licensing fines.

Councillor Patola recused himself from discussion declaring a conflict of interest with respect to his position on the CMHA Board of Directors at 3:38 p.m.

**L. Walerius**

Inquired about the process and renewal of the Caretaker residence agreements between the City and the Canadian Mental Health Association – Port Alberni.

Councillor Patola returned to the meeting at 3:47 p.m.

**N. ADJOURNMENT**

*MOVED AND SECONDED, THAT the meeting adjourn at 3:51 p.m.*

**CARRIED**

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Mayor

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Corporate Officer



CITY OF  
PORT ALBERNI

RECEIVED

FEB 17 2026

DELEGATION APPLICATION

CITY OF PORT ALBERNI

CONTACT INFORMATION: (please print)

Full Name: Teri Fong

Organization (if applicable): Alberni-Clayoquot Regional District

Street Address: 3008 5th Avenue

Phone: 250-735-8374

Mailing Address: 3008 5th Ave, PA, V9Y 3W1

Email: tfong@acrd.bc.ca

No. of Additional Participants:

[Name/Contact Information] Daniel Sailland, CAO dsailand@acrd.bc.ca

MEETING DATE REQUESTED: February 23, 2026

PURPOSE OF PRESENTATION: (please be specific)

Provide an overview of your presentation below, or attach a one-page (maximum) outline of your presentation:  
Presentation of ACRD Draft 2026-2030 Financial Plan

Requested Action by Council (if applicable):

Supporting Materials/PowerPoint Presentation:  No  Yes

Note: If yes, must be submitted by 5:00 pm on the Monday before the scheduled meeting date.

SIGNATURE(S):

I/We acknowledge that only the above listed matter will be discussed during the delegation and that all communications/comments will be respectful in nature.

Feb 17, 2026

Date:

Signature:

Approved: (Deputy Director of Corporate Services)

<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Economic Development
<input type="checkbox"/> CAO	<input type="checkbox"/> Engineering/PW
<input type="checkbox"/> Finance	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Corporate Services	<input type="checkbox"/> Development Services
<input type="checkbox"/> Agenda	<input type="checkbox"/> Community Safety
	<input type="checkbox"/> Other

File # *0550-38-2 Feb 23/66*

OFFICE USE ONLY:

Scheduled Meeting Date:

Date Approved:

Applicant Advised:

Personal information you provide on this form is collected pursuant to Section 26 of the *Freedom of Information and Protection of Privacy Act [FOIPPA]* and will only be used for the purpose of processing this application.

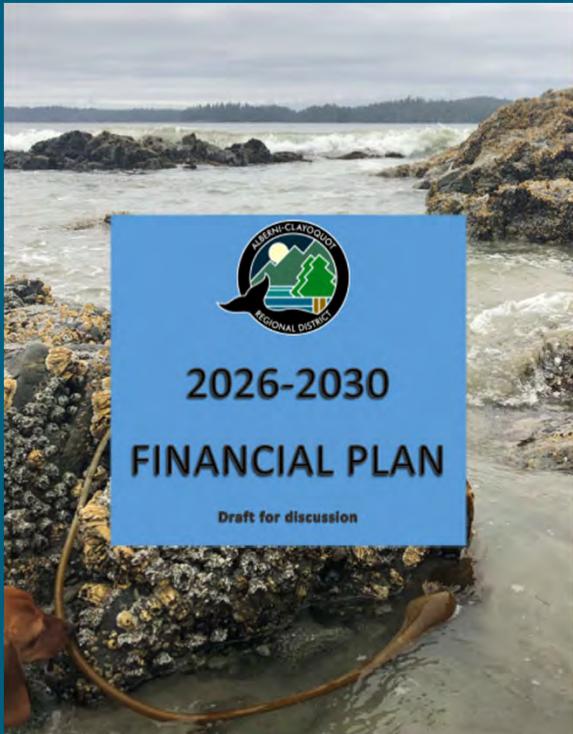
Your personal information will not be released except in accordance with the *Freedom of Information and Protection of Privacy Act*.

# 2026-2030 Draft Financial Plan



Presentation to City of Port Alberni Council  
On February 23, 2026

## 2026-2030 Draft Financial Plan



- Draft to be loaded to the website following today's meeting
- Five-year period (current plus four)
- Each service budgeted independently including:
  - proposed expenditures
  - proposed revenues
  - proposed transfers to/from reserve accounts
- Must be adopted by March 31<sup>st</sup> of each year



- Services are independent – you cannot transfer revenues and expenditures between services
- Areas are only charged for the services they are provided
- Allocation of expenditures include staff salaries and benefits
- Budget must balance – cannot run a deficit

## Service Financial Rules



# Development of the Financial Plan

- Operational costs of existing services
- Implementation of the 2024-2027 ACRD Strategic Plan
- Proposed Initiative Case's (PIC's) as approved by the Directors
- Asset Management plans and the infrastructure gaps that exist in many of the services
- The goal is to adopt a plan that includes an allocation of resources that will achieve the desired outcomes of the Board while remaining responsive to a changing social, environmental and financial context.

Priorities

- 1
- 2
- 3



# Public Consultation – Ways to Engage

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- All ACRD open Board and Committee meetings are recorded and livestreamed to YouTube on the ACRD Website
- Financial Plan is available on the ACRD website at [2026-2030 Financial Plan](#)
- New Engagement Hub located on the ACRD's Let's Connect Page
- Questions and comments regarding the Financial Plan can be submitted via email to [budget@acrd.bc.ca](mailto:budget@acrd.bc.ca)



# 2024-2027 Strategic Plan



## 1. Planning for a Resilient and Liveable Region

To create liveable, resilient and engaged communities through informed, effective planning.



## 2. Managing our Assets and Infrastructure

To effectively manage our infrastructure to ensure that we are able to maintain high levels of service and to mitigate future costs.



## 3. Partnerships and Communications

To achieve mutual benefits from partnering with First Nations, municipal governments and community partners by sharing and leveraging our resources, developing and implementing effective communication practices, and aligning our efforts towards common goals.



## 4. Advocacy and Service

To represent and advance the interest of the region with other levels of government and agencies responsible for providing governance and services in our region. Where collaboration creates possible solutions, explore possible service models.





# Summary of 2026-2030 Draft Financial Plan

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- Total budget is approximately \$38.8 million
- 2026 requisition is approximately \$13.6 million, including Hospital District requisition
  - This is an increase of approximately \$928,000 or 7.32%
- General Government represents 42% of this increase. Increases relate to special project work such as Primary Care Recruitment & Retention and Secondary Road Access.
- Anticipating approximately \$18.3 million dollars in grant funding in 2026 for both operational and infrastructure projects.



# Regional Planning

(Pages 52-55)



## 2025 Project Highlights:

- Continued agricultural support services throughout the region, guided by the Agricultural Development Committee and Coastal Foods Roundtable.
- Alberni Valley Agricultural Water Plan.
- Alberni Valley and West Coast Food Security Emergency Plans.

## 2026 Project Focus:

- Community Climate Adaptation Planning for the West Coast region.
- Continued Building Energy Audits.
- Securing grant funding for Plan implementation and Alberni Valley Community Climate Planning.

✓ 14 subdivision referrals received in 2025, expect similar activity in 2026.



# Alberni Valley Regional Airport

(Pages 78-81)



Capital Reinvestment

## 2025 Highlights:

- Instrument Approach Procedures OLS clearing 90% completed
- Canadian Border Service Agency application denied but the ability to conduct one-time clearances will be available at a cost to the proponent requesting the service.
- Security fencing and access improvements ongoing
- The Province has approved a OLTC cut permit for the Runway 12 / 30 approach surfaces, most penetrations have been removed.
- Fencing upgrades to the Northwest Industrial road

## 2026 Budget Items:

- Minor tax reduction to \$610,000
- Equipment Shelter procurement (Pending grant BCAAP award)
- Runway paint marking renewal
- AWOS certification to improve the Instrument Approach Procedures (IAP)
- Expansion of the taxiway network to accommodate future leases
- Crack sealing runway surface
- Fencing repairs and upgrades



# Regional Parks

(Pages 97-100)



Alberni Inlet Trail Stage 2

## Service Details:

- West Coast Multi-Use Pathway, Log Train Trail (LTT), Alberni Inlet Trail stage 1 and stage 2, China Creek Park, and Mount Arrowsmith Park
- Regional Parks Service is funded by the entire Regional District

## 2025 Highlights:

- Continued the negotiation of updated LTT lease agreement
- Design and installation of ACRD parks signage
- Completion of the Parks Linear Asset Assessment

## 2026 Budget Items:

- Development of LTT Enforcement Management plan and updated provincial lease for LTT
- Address short term priority infrastructure identified within Parks linear asset assessment.
- Signage, asset management, and mapping improvements



# Sproat Lake Marine Patrol

(Pages 109-111)



Carp Electrofishing with Ministry of Environment

## Service Details:

- Provide boating safety education
- Service is funded by Port Alberni, Uchucklesaht, Beaufort, Sproat Lake, Beaver Creek, and Cherry Creek Electoral Areas.

## 2025 Highlights:

- Second year of training partnership with BC Parks Foundation ambassador program
- Attended fire hall open houses, Port Day and Summer kickoff events

## 2026 Budget Items:

- Grant agreement with Transport Canada has not been renewed
- Service Capital Reserve to compensate for funding shortfall in 2026
- Development of long term funding plan needed

# Solid Waste Management



## Service Details:

- Two services: Alberni Valley & Bamfield Waste Management + West Coast Waste Management.
- Each service tasked with reducing in-region waste disposal; increasing diversion; managing landfills; curbside collection contracts; and environmental control systems.
- Funding of each service is through tipping fees, sales of recyclables, grants and taxation.

## Highlights:

- Waste Education

## Looking Ahead:

- Waste Characterizations
- Landfill Gas Regulations
- Cost Recovery Evaluations and Opportunities for Cost Efficiencies



# Alberni Valley Waste Management

(Pages 112-116)

## Service Details:

- AV Sort'nGo Centre; curbside collection Beaver Ck, HFN, TFN; Bamfield Transfer Station & Waste Hauling; 3<sup>rd</sup> Ave Depot

## 2025 Highlights:

- Continued to collaborate on the Land Tenure for Sortn'Go Center
- Hosted Open House at Tseshaht First Nation
- Implemented Organics Self-Haul Pilot Program
- Land Acknowledgement Sign Installed

## 2026 Key Projects to be Undertaken:

- Landfill Working Group (Tseshaht First Nation, ACRD) will continue to collaborate on land tenure, engagement opportunities, etc.
- Daily Cover and Airspace Consumption Analyses
- Bamfield Waste Management Costs and Options Assessment
- Recycling Programs Evaluation (RecycleBC and Beaver Creek Service)



# Alberni Valley Custom Transit Service (handyDART)

(Pages 135-137)



## Service Details:

- 8,230 annual service hours, 6 vehicles, operates 7 days a week 8 am – 5 pm, 17k annual rides

## 2025 Highlights:

- 1,300 hour expansion to introduce Saturday service and additional peak weekday trips
- Fleet increased from 4 buses to 6 buses as a part of the expansion
- Regional Transit Study completed by BC Transit
- Expansion to service Tseshah First Nation completed
- Delivered 17,859 passenger trips (new high mark for ridership)

## 2026 Budget Items:

- New Custom Transit dispatch software procured by BC Transit
- 10% increase in vehicle lease fees
- Completion of Regional Transit Study will lead to an updated Transit Future Service Plan for the Alberni Valley and region



# E911 Emergency Telephone System

(Page 155-156)

The financial plan for this service is based on the North Island 911 (NI911) 2026-2030 Financial Plan. The NI911 financial plan includes a requisition increase of 5% in 2026. This increase will support the five-year financial plan objectives of:

- Implementation of Federally mandated Next Gen 911.
- Increasing its capital reserve from \$1.33 million in 2025 to \$2.28 million in 2030 to provide sustainable funding source for upcoming capital costs.
- Increasing the general contingency reserve from \$471,604 in 2025 to \$1.29 million in 2030 to meet cashflow needs, unexpected operating expenses and revenue interruptions
- Meeting increased costs associated with fire dispatch contract reflecting wage increases
- ACRD is completing the GIS update requirements in partnership with first nations and local government communities



# Emergency and Disaster Management

## Key Objectives & Budget Drivers

- Building resources and capacity
- Training
- Public education
- Volunteer recruitment & retention initiatives
- Outreach and relationship building
- Consult and collaborate with First Nations
- Align with legislative requirements



# 2025 In Review:

## Grant Initiatives - Highlights & Accomplishments



- Emergency Operation Centre Grant
- Emergency Support Service Grant
- Emergency Communication & Public Notification Grant
- Food Security Emergency Plans
- Livestock Emergency Plan
- 2023-2025 FireSmart Grant (completed)
- 2025-2027 FireSmart Grant (started)
- West Coast Emergency Cultural Awareness and Safety



## 2025 In Review:

### Emergency Activations



### Emergency Operations Centre

- Bamfield Watermain Break – May 24, 2025
- Tsunami Advisory – July 29, 2025
- Wesley Ridge Wildfire – July 31, 2025
- Mount Underwood Wildfire – August 11, 2025
- Flood Watch – December 15, 2025

### Emergency Support Services

- 8 house fires, 1 apartment fire, 1 hotel fire, 2 wildfires
- Team deployment to support Wesley Ridge response
- Host community
- Reception Centre
- Air Quality Centre
- Group Lodging
- Resilience Centre



# Emergency Support Services

## Service Details:

- Beaufort, Beaver Creek, Cherry Creek, Sproat Lake, City of Port Alberni
- MOU – Hupacasath First Nation

## 2025 Highlights:

- Volunteer management: recruitment, retention, recognition
- Skill development, capacity building, resources, training
- Training in Evacuee Registration and Assistance tool (ERA)

## 2026 Focus:

- Advanced ERA training & host community reception centre tabletop exercise
- Training session to support vulnerable populations: diversity, equity, and inclusion training
- ESS team development and management
- Strengthening resource capacity – group lodging supplies & reception centre equipment

IN 2025

4,661

TRAINING /  
VOLUNTEER  
MANAGEMENT

30

TEAM  
MEMBERS

600+

ACTIVE RESPONSE  
HOURS

12

ACTIVATIONS

29+

EVACUEES

13+

PETS

# Mount Underwood

## Key Observations:

- Many ACRD & CPA staff were heavily engaged for several weeks
- Additional EOC staff: EMCR, Comox Valley RD, Courtenay, City of Nanaimo, Strathcona RD, Cowichan Valley RD, and private contractors
- Inter-agency collaboration, trust, and cooperation were critical, including communication with First Nations, provincial agencies, private industry, & neighbouring jurisdictions
- Staff response efforts have impacts on regular operations, work plans, and workplace stress
- Regular training and cross-jurisdiction training is important
- Recovery is a complex, lengthy process
- As emergencies are becoming more frequent and severe, investments in preparedness, training, resources, and disaster risk reduction are becoming more critical



# ALBERNI VALLEY EMERGENCY PROGRAM

(Pages 157-160)

## Service Details:

*Coordinates emergency services for:  
Beaver Creek, Sproat Lake, Cherry Creek,  
Beaufort, and the City of Port Alberni.*



## 2026 Priorities

- **Expand and strengthen relationships** with government agencies, local organizations, First Nations, & regional local authorities.
- Advance **EOC & ESS readiness** through training sessions, resource capacity, and planned exercises.
- Enhance **volunteer management**, supporting team members and improving readiness.
- Improve **wildfire resilience** through the implementation of FireSmart principles and initiatives.
- Promote **personal preparedness and community resilience** through public education & community engagement.
- Improve **cultural awareness** and traditional knowledge through training and initiatives.
- Adhere to **legislative requirements** and implement regulations as they become available.

# GRANTS OVERVIEW 2026



## 2026 Grant Initiatives

- Emergency Support Services\*
- Indigenous Engagement Requirements Funding (West Coast Emergency Cultural Awareness and Safety Plan)
- Emergency Operations Centre\*
- FireSmart



\* Pending approval

# FireSmart 2025-2027

## Partnership:

- Huu-ay-aht First Nations, City of Port Alberni, Hupacasath First Nation & Tseshah First Nation

## Wildfire Risk Reduction Activities:

- Home assessments & rebate program
- Training & relationship-building
- Public education
- Residential debris removal
- Critical infrastructure assessments & mitigation
- Develop Community Wildfire Resiliency Plans
  - Alberni Valley, Tseshah and Hupacasath
  - Bamfield and Anacala

## 2023-2025 Highlights

265

HOME ASSESSMENTS

38

RESIDENTIAL  
REBATES

55

PUBLIC ENGAGEMENT  
EVENTS

45

CRITICAL  
INFRASTRUCTURE  
ASSESSMENTS

162

CURBSIDE PICKUP  
REQUESTS

## GENERAL GOVERNMENT SERVICES (PAGES 188-196)

- Asset Management
- Administrative Services
- Human Resources
- Information Technology
- Records Management
- AC Health Network
- Bylaws & Policies
- Office Supplies/Equipment
- Grant Programs
- Building Maintenance
- Special Projects

### 2025 Highlights

- Continued Bylaw & Policy Review & Updates (Respectful Spaces, Procedures Bylaw)
- Inclusive Governance Project
- Equitable Employment Initiative
- Exempt Compensation Review

### 2026 Highlights

- Procedures Bylaw Update
- Records Management Assessment
- Agenda Management Software
- Continued IT cyber security upgrades
- CUPE 118 Collective Agreement Negotiations
- Board Remuneration Review Committee



## GENERAL GOVERNMENT SERVICES CONTINUED



### 2026 Highlights

- Phase 2 Feasibility – business case development and land identification for ACRD Administration office
- Primary Care Recruitment and Retention
- Transportation Committee- Alt Hwy 4
- Alberni Valley Drag Racing Association Support
- Island Corridor Foundation feasibility and visioning.
- West Bamfield Dock Feasibility
- AVRA First Nations Protocol Agreement



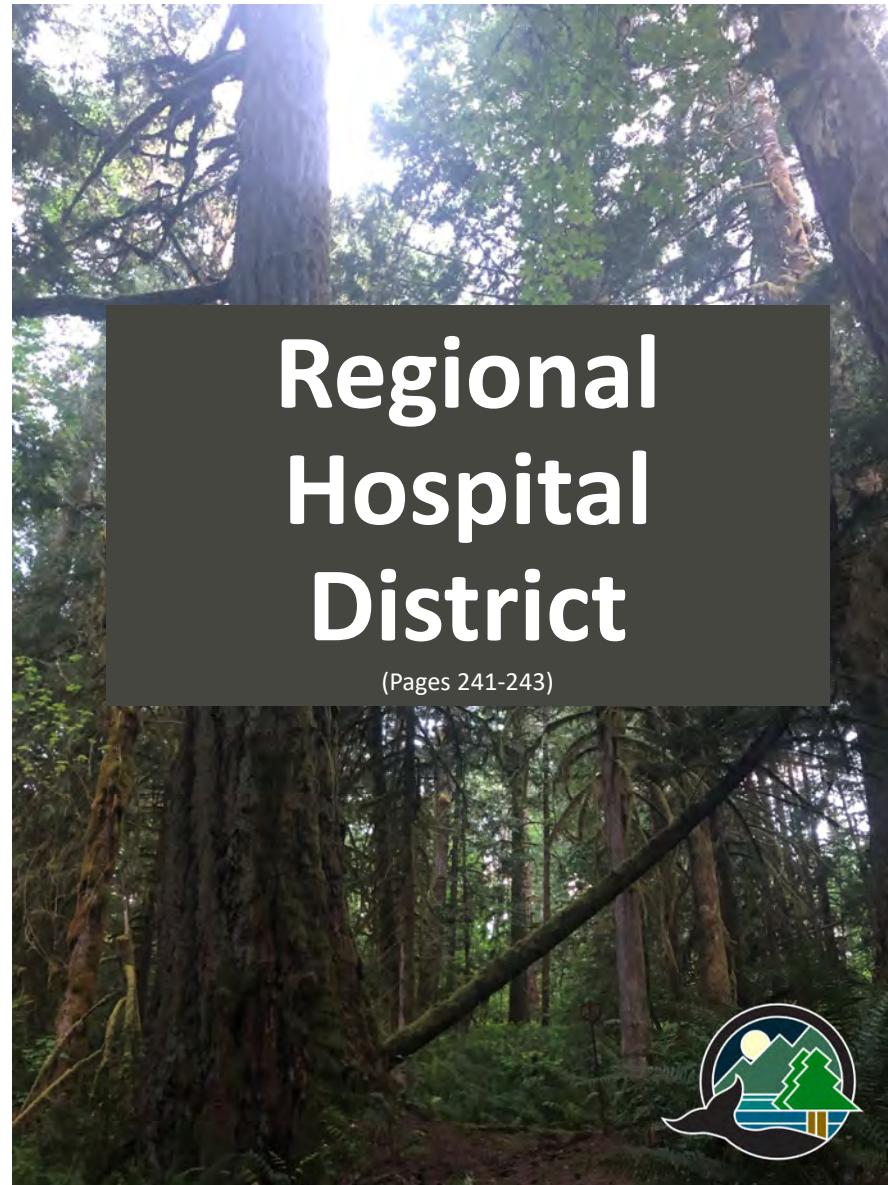
# Alberni Valley Aquatics Facility – Proposed Service

(Pages 229 to 230)

- Alberni-Clayoquot Regional District Aquatic Centre Feasibility Study Final Report was completed by 2024. Directors have concerns about the cost of the recommended facility
- Governance discussion continues regarding the establishment of the proposed service. Directors finding it challenging to identify cost apportionment model. Consultant assisted in 2025, and discussion will continue in 2026.
- A feasibility study to renovate the existing Echo Aquatic Centre was completed in 2025 and recently presented to the Board



- Hospital District is a separate legal entity but has the same taxpayers
- West Coast General Hospital Debt was fully paid in 2025
- Island Health's 2026 Minor Equipment Grant at base level of \$550,000
- The Ministry did not accept the Tofino General Hospital Concept Plan and further dialogue is needed to advance to the Business Plan Development Stage
- Tax requisition is budgeted at \$1.836 million, same as prior year



# Port Alberni – Tax Rate Analysis

\*per \$100,000 of Assessed Value

2026 Average Residential Property Value: \$509,625

2025 Average Residential Property Value: \$517,554

Service Function	Requisition			Estimated Tax*		
	2025	2026	% Change	2025	2026	\$ Change
Regional Planning	80,339	83,458	3.88%	7.79	8.01	0.22
Alberni Valley Regional Airport	353,567	355,394	0.52%	34.29	34.12	(0.16)
Regional Parks	62,009	61,576	-0.70%	6.01	5.91	(0.10)
Sproat Lake Marine Patrol	22,463	22,816	1.57%	2.18	2.19	0.01
Alberni Valley & Bamfield Waste Mgmt	50,849	51,109	0.51%	4.93	4.91	(0.02)
Custom Transit	139,419	193,562	38.83%	13.52	18.58	5.06
E911 Telephone System	172,162	179,222	4.10%	16.69	17.21	0.51
Alberni Valley Emergency Planning	194,924	238,887	22.55%	18.90	22.94	4.03
General Government Services	888,631	1,028,124	15.70%	86.17	98.71	12.54
Grants-in-aid	78,480	79,537	1.35%	7.61	7.64	0.03
Alberni Valley Regional Water - Proposed	-	4,571	-	-100.00%	-	0.44
Regional Hospital District	684,950	680,008	-0.72%	66.42	65.29	(1.13)
<b>Totals</b>	<b>2,723,221</b>	<b>2,973,691</b>	<b>9.20%</b>	<b>264.08</b>	<b>285.51</b>	<b>21.43</b>





# Thank you

Questions?



Date: January 19, 2026

File No: 4520-20-TUP24-01

To: Mayor & Council

From: M. Fox, CAO

Subject: **DEVELOPMENT APPLICATION – Temporary Use Permit at 3868 Wood Avenue, Port Alberni**  
LOT 1 DISTRICT LOT 45 ALBERNI DISTRICT PLAN VIP81430 (PID: 026-760-878)

Applicant: H. Singh Rai, S. Kaur Rai

Prepared by:  S. Parthiban Planner 1	Reviewed by:  B. McLoughlin Manager of Planning	Director:  S. Smith, Dir. of Development Services   Deputy CAO	CAO Concurrence:  M. Fox, CAO
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#### RECOMMENDATIONS

- a. *THAT Council not issue Temporary Use Permit No. 24-01 at 3868 Wood Avenue.*
- b. *THAT Council direct the Community Safety and Social Development department to not enforce the Zoning Bylaw at 3868 Wood Avenue until July 1, 2026 to allow tenants to find alternate accommodation.*

#### PURPOSE

To consider issuance of Temporary Use Permit (TUP24-01) at 3868 Wood Avenue to authorize up to seven (7) Recreational Vehicles (RVs) to be used as long-term residential dwellings. The applicant is requesting the permit be issued for three years.

#### BACKGROUND

The subject property (3868 Wood Avenue) is located mid-block between Morton Street in the north and Redford Street in the south. A total of seven RVs are currently located on the property in a loose campsite arrangement. The RVs are being occupied as permanent residential dwellings, which is not permitted by the City's campground regulations in the Zoning Bylaw. In November 2013, the City issued a Temporary Use Permit (TUP) to the property to authorize the use of 8 RVs for residential use. Council granted a renewal of the TUP in June 2015. The TUP expired in June 2018, but the RVs remained occupied.

#### Bylaw Enforcement

Community Safety first began enforcing Zoning Bylaw compliance on the property in January 2024, and a second notice was mailed out in October 2024. In response, the owner has applied for a second Temporary Use Permit.

Location	3868 Wood Avenue
Current Land Use	General Commercial
Current Zoning	C4 Highway Commercial
Proposed Temp. Use	Recreational Vehicle Park
Total Area	2177.23 m <sup>2</sup> (0.53 acres)

Figure 1 – Subject Property



#### ALTERNATIVES/OPTIONS

1. *THAT Council not issue Temporary Use Permit No. 24-01 at 3868 Wood Avenue.*

*THAT Council direct the Community Safety and Social Development department to not enforce the Zoning Bylaw at 3868 Wood Avenue until July 1, 2026 to allow tenants to find alternate accommodation.*

2. *THAT Council authorize the Director of Corporate Services to issue TUP24-01 for 3868 Wood Avenue once the following conditions have been met to the satisfaction of the Director of Development Services:*
  - a) Business License application*
  - b) Approved Fire Safety Plan*
  - c) Electrical assessment report*
  - d) Site servicing plan prepared by a qualified professional.*

3. *THAT Council direct staff to provide additional information.*

Administration recommends Option 1.

## **ANALYSIS**

The purpose of a TUP application is for Council to consider authorizing a use of the property that is otherwise not permitted by the Zoning Bylaw. The owner of 3868 Wood Avenue is seeking authorization to continue the existing non-permitted use of the property for a period of three years. The TUP would allow up to 7 RVs to be used as permanent residential dwellings in a campground-style arrangement. The current condition of the property is shown in the attached site photos.

### Official Community Plan - Policy and Land Use

The TUP application does not align with the General Commercial (GCO) land use policy in the OCP, as the requested uses do not align with the listed pedestrian-scale commercial activities, and the residential use is not located above ground-floor commercial (5.1.1 *General Commercial Policy*).

### *Temporary Use Permit Policy*

The proposed TUP does not meet the OCP Council criteria for consideration of temporary uses. A TUP allows for short-term uses to occur, but should ensure that long-term public policy for the area is not changed, while maintaining a reasonable level of compatibility with the surrounding development.

- TUP 24-01 may allow time for the applicant to cease the use of 7 RV sites.
- However, authorizing the permit would alter public policy by allowing RVs for long-term residential use on the property.
- RVs are permitted only in *Campground*. RVs for long-term residential use are incompatible with the surrounding commercial and residential neighbourhood.

### Zoning Bylaw No. 5105, 2024.

The subject property is zoned C4 Highway Commercial. The purpose of C4 zone is to establish and maintain areas offering a range of large-format retail, service, and tourist recreational uses. The C4 zone does not permit residential uses, but it allows use of RVs as temporary accommodation in a campground for “transient holiday makers”.

The property is currently being used for RVs as long-term residential dwellings, and is not considered to be a campground under the bylaw. With the exception of a caretaker’s residence, the primary requirement of a campground is that a person or recreational vehicle shall not occupy a camping site for more than 90 days per calendar year.

With regard to issuance of TUPs, the fact that a TUP on the property previously expired does not prevent the owner from applying again, or Council from approving a second TUP. This is consistent with sections 492- 497 of the *Local Government Act (LGA)*.

- A TUP may be issued for up to three years. Council may consider renewing a permit for an additional three years for a maximum of six years.

### Intergovernmental Factors

The BC Fire Code and BC Building Code make no provision for the use of RVs and trailers as residential units because they are not built or designed for that use.

### Interdepartmental Involvement

Port Alberni Fire Department (PAFD) has stated the following concerns about RVs as permanent dwellings:

- Use of extension cords or overloaded circuits poses fire risks. Electrical connections are to be evaluated.
- Excessive flammable materials on-site could promote fire growth and spread.
- RVs are too close together; adequate spacing is needed to prevent fire from spreading between units.
- Applying FireSmart principles to the site would help reduce fire hazards and limit fire spread.

### **IMPLICATIONS**

If Council does not approve TUP24-01 for 3868 Wood Avenue, the applicant would be required to remove the RVs from the site, and the current tenants would need to find an alternate place to live.

If Council approves TUP24-01 the applicant will be authorized to continue using their property for a campground-style arrangement of RVs that are occupied as permanent residential dwellings. Allowing people to live long-term in RVs introduces significant health and safety risks, as RVs are not built or serviced to function as permanent dwellings. Services like electrical, water, and septic systems can fail under continuous use, creating health, environmental, and safety concerns. Permanent habitation also increases fire and life-safety risks due to inadequate fire separation between RVs, use of extension cords, propane tanks, generators, and other outdoor fuel sources, all of which create hazards. The duration of the permit would be three years, with an opportunity for Council to consider renewal up to six years.

Any issuance of the TUP should be conditional upon the owner completing the following to the satisfaction of the Director of Development Services:

- a) Submit a Business License application and undergo all necessary inspections for compliance with municipal and provincial regulations.
- b) Submit an electrical assessment report outlining the power supply provided to each unit as reviewed and certified by a qualified professional.
- c) Submit a Fire Safety Plan to identify fire risks on-site, implement measures to mitigate them, and establish clear procedures for responding to fire-related incidents.
- d) Submit a site servicing plan prepared by a qualified professional.

### **COMMUNICATIONS**

Staff issued a public notice as per section 494 of the *Local Government Act*. Advertisements were placed in the local newspaper, and 62 notices were mailed to owners and occupants within 100 metres of the property.

### **BYLAWS/PLANS/POLICIES**

#### 1. Official Community Plan – Section C – 3.0 Temporary Use Permits

This application has been reviewed according to OCP policy, which supports issuance of a TUP on lands designated GCO General Commercial.

#### 2. Zoning Bylaw No. 5105, 2024

A TUP is required because *Recreational Vehicle for residential use* is not a permitted use in C4 zone (section 5.18.1 and section 5.18.4(b)).

3. 2023 - 2027 Corporate Strategic Plan

Issuance of TUP25-05 does not align with the following Council strategies:

- 2.2.3 Encourage full use of commercial buildings aligning with community plans and bylaws.
- Goal 5.1: The community is aesthetically appealing and there are locally authentic public spaces. Citizens are proud of their community.
- 5.1.2 Encourage the infilling of vacant lots and buildings to enable those sites to contribute to vibrancy.

**SUMMARY**

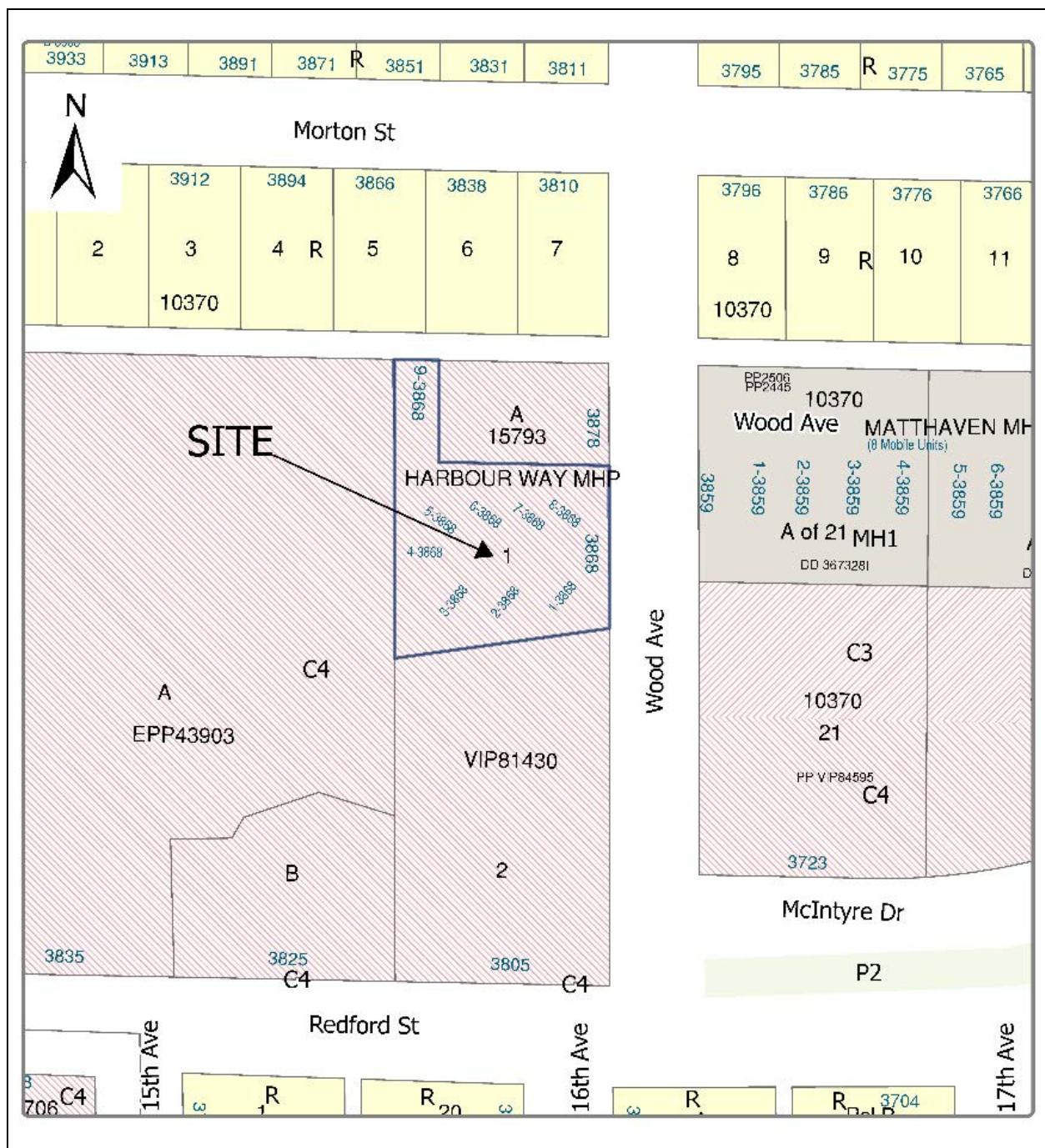
Temporary Use Permit No. 24-01 would authorize up to seven (7) Recreational Vehicles (RVs) to be used as long-term residential dwellings at 3868 Wood Avenue in a campground-style arrangement. While campgrounds are permitted in the C4 zone, the permanent occupation of RVs for residential use is not. The proposed TUP does not align with OCP policy for General Commercial lands or consideration of temporary uses.

RVs are not designed for permanent habitation, and long-term use creates safety, health, and servicing risks, including potential failures of water and septic systems. The Fire Department has identified significant fire-safety risks, such as electrical hazards and inadequate fire separation on the site. For these reasons, Administration recommends that TUP24-01 not be issued by Council.

**ATTACHMENTS/REFERENCE MATERIALS**

1. *Zoning Map*
2. *Site Photos – 3868 Wood Avenue*
3. *Temporary Use Permit No. 24-01*

## ZONING BYLAW MAP



**SITE PHOTOS – 3868 WOOD AVENUE**





## TEMPORARY USE PERMIT

### Temporary Use Permit No: 24-01

**Registered Owner(s):** Harjodhan Singh Rai, Surinder Kaur Rai

**Applicant(s):** Harjodhan Singh Rai, Surinder Kaur Rai

**Subject Property:** 3868 Wood Avenue, Port Alberni, BC

**Legal Description:** LOT 1 DISTRICT LOT 45 ALBERNI DISTRICT PLAN VIP81430

**Parcel Identifier:** 026-760-878

**Purpose:** To permit up to seven (7) Recreational Vehicles to be used as permanent residential dwellings.

Authorization is hereby granted to Harjodhan Singh Rai and Surinder Kaur Rai to use the subject property for the purpose of up to seven (7) Recreational Vehicles as permanent residential dwellings in accordance with the conditions of TUP 24-01.

#### CONDITIONS of PERMIT:

- 1) This permit applies to the subject property described above and shown on Schedule A.
- 2) This permit authorizes the temporary use beginning on February 23, 2026, and expiring on February 23, 2029, at which time the rights granted under this permit will cease.
- 3) This permit is issued subject to compliance with all relevant City of Port Alberni Bylaws, except as specifically varied or supplemented by this Permit.
- 4) The following conditions must be met to the satisfaction of the Director of Development Services prior to issuance of Temporary Use Permit No. 24-01:
  - a) Submit a Business License application and undergo all necessary inspections for compliance with municipal and provincial regulations.
  - b) Submit an electrical assessment report outlining the power supply provided to each unit as reviewed and certified by a qualified professional.
  - c) Submit a Fire Safety Plan to identify fire risks on-site, implement measures to mitigate them, and establish clear procedures for responding to fire-related incidents.
  - d) Submit a site servicing plan prepared by a qualified professional.
    - i. All Recreational Vehicles shall be connected to City water and sanitary sewer, with approved connections and clean-outs at the property line.
    - ii. All on-site utilities shall be documented.
- 5) This permit may be extended one time, by application to Council, prior to the expiry date of February 23, 2029, for a period of not more than three (3) years, as per section 497(2) of the *Local Government Act*.
- 6) At the time of expiry of this permit, the owner shall cease the non-conforming uses and restore the subject property to a state of conformity with zoning regulations and all relevant municipal bylaws.

7) City Council has the right to terminate this permit for any breach of the above conditions.

The City of Port Alberni shall file notice of this permit in the Land Title Office stating the land is subject to Temporary Use Permit No. 24-01.

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**THIS IS NOT A BUILDING PERMIT**

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**Authorized by**

---

**Corporate Officer**

This Permit is issued under the Seal of the City of Port Alberni on \_\_\_\_\_, 2026.

## **SCHEDULE A – Location Map**



October to December 2025

# 4th Quarter Policing Report



**Port Alberni RCMP**

**Prepared by Insp K.M.M. BRUCE**



Royal Canadian  
Mounted Police

Gendarmerie  
du Canada

**REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026**

**Canada**



Royal Canadian  
Mounted Police

Gendarmerie  
du Canada

**REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026**

**Canada**

# Fourth Quarter 2025

- Operations – general overview
  - Proactive Enforcement
- Operations by Area
- Mental Health
- Crime Rate
- Data Analysis / Comparison Data
- GIS
- Crown Submissions



# Operations

Port Alberni RCMP – Calls for Service by Year (all areas)

		% Change
2021	13639	
2022	13356	-2.11
2023	13982	+4.48
2024	13281	-5.21
2025	13951	+4.8

Port Alberni – Calls for Service by Quarter (all areas)

	Q1	Q2	Q3	Q4
2024	2863	3386 (+18.27%)	3801 (+12.26%)	3231 (-15%)
2025	Q1	Q2	Q3	Q4
	2965	3543	4061	3364
% Difference	+3.45%	+20.30%	+14.6%	-17.2%



Royal Canadian  
Mounted Police

Gendarmerie royale  
du Canada

REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026

Canada

# Curfew Checks

Port Alberni – Curfew Checks (all areas)					
2024	Q1	Q2	Q3	Q4	Totals
	310	154	104	418	986
2025	Q1	Q2	Q3	Q4	
	453	307	283	242	1285



# Traffic Enforcement

Port Alberni – Traffic Enforcement (all areas)					
2024	Q1	Q2	Q3	Q4	Totals
	322	206	205	232	965
2025	Q1	Q2	Q3	Q4	
	181	259	226	164	830

Enforcement	Violation Tickets	Warnings	COLLISIONS	Municipal	Rural
Seatbelt			Fatalities		
Intersection	8	1	Injury MVIs	14	13
Speeding	42	25	Property Damage Over \$10,000 & Hit and Run	2	3
Electronic Device			Property Damage Under \$10,000 & Hit and Run	25	18
Fail to Stop (Bus)	10	1			
No Insurance	19	3			
No D/L	13	1			
Other	27	16			



Royal Canadian  
Mounted Police

Gendarmerie royale  
du Canada

REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026

Canada

# City of Port Alberni

*** 2025 Fourth Quarter Statistics				Total calls – fourth quarter in 2024 = 2618		
				Total calls – fourth quarter in 2025 = 2802		
Activity Type	October 2024	October 2025	November 2024	November 2025	December 2024	December 2025
<b>Total Files</b>	936	924	841	929	841	949
Robbery	1	1	3	-	2	-
Assault	35	30	30	38	27	31
Domestic violence	29	26	34	26	34	34
Sex Offences	6	8	11	9	5	11
B&E – all types	16	14	8	13	12	14
Theft of Vehicle	2	3	2	9	1	3
Theft from Vehicle	12	10	6	8	9	15
Theft Over \$5K	3	4	2	2	1	3
Theft Under \$5K	37	39	42	46	39	44
Shoplifting	13	13	14	15	14	16
Drug Offences	6	3	4	2	1	1
Liquor Offences	16	13	13	18	13	19
Impaired Driving CC	6	2	5	7	14	12
IRP – 3,7, 30, 90	5	4	7	8	12	10



# Alberni-Clayoquot Regional District (ACRD)

*** 2025 Fourth Quarter Statistics				Total calls - fourth quarter in 2024 = 415		
				Total calls – fourth quarter in 2025 = 394		
Activity Type	October 2024	October 2025	November 2024	November 2025	December 2024	December 2025
<b>Total Files</b>	134	150	126	124	155	120
Robbery	-	-	-	-	-	-
Assault	3	-	4	4	7	2
Domestic violence	5	4	3	6	9	1
Sex Offences	1	1	-	1	3	-
B&E – all types	-	1	3	-	1	-
Theft of Vehicle	1	2	-	2	3	-
Theft from Vehicle	2	1	1	1	-	1
Theft Over \$5K	2	-	-	1	-	-
Theft Under \$5K	1	5	1	1	6	-
Shoplifting	-	-	-	-	-	-
Drug Offences	-	-	-	-	-	-
Liquor Offences	-	-	1	-	-	-
Impaired Driving CC	-	5	-	3	1	3
IRP – 3,7, 30, 90	-	2	-	2	2	3



# First Nations Communities: Tseshah, Hupacasath, Huu-ay-aht, Uchucklesaht

*** 2025 Fourth Quarter Statistics				Total calls - fourth quarter in 2024 = 70		
				Total calls – fourth quarter in 2025 = 70		
Activity Type	October 2024	October 2025	November 2024	November 2025	December 2024	December 2025
<b>Total Files</b>	21	19	17	26	32	25
<b>Robbery</b>	-	-	-	-	-	-
<b>Assault</b>	1	2	-	2	1	2
<b>Domestic violence</b>	3	1	2	3	1	-
<b>Sex Offences</b>	-	1	-	-	1	-
<b>B&amp;E – all types</b>	-	1	-	-	1	-
<b>Theft of Vehicle</b>	-	-	-	-	-	-
<b>Theft from Vehicle</b>	-	-	-	-	-	-
<b>Theft Over \$5K</b>	-	-	-	-	-	-
<b>Theft Under \$5K</b>	2	-	2	-	1	1
<b>Shoplifting</b>	-	-	-	-	-	-
<b>Drug Offences</b>	-	-	-	-	-	-
<b>Liquor Offences</b>	-	-	-	-	-	1
<b>Impaired Driving CC</b>	-	1	-	1	-	-
<b>IRP – 3,7, 30, 90</b>	-	-	-	1	1	1



# Mental Health Related

Annual Totals	2021	2022	2023	2024	2025
Municipal	958	772	934	689	840
Provincial	106	94	108	82	79
FN Comms	18	17	23	11	19

Q4	2021	2022	2023	2024	2025
October	82 / 11	79 / 24	76 / 19	60 / 7	103 / 22
November	65 / 8	64 / 21	77 / 13	66 / 17	105 / 15
December	96 / 17	68 / 12	85 / 17	72 / 19	79 / 17



# Port Alberni Crime Rate

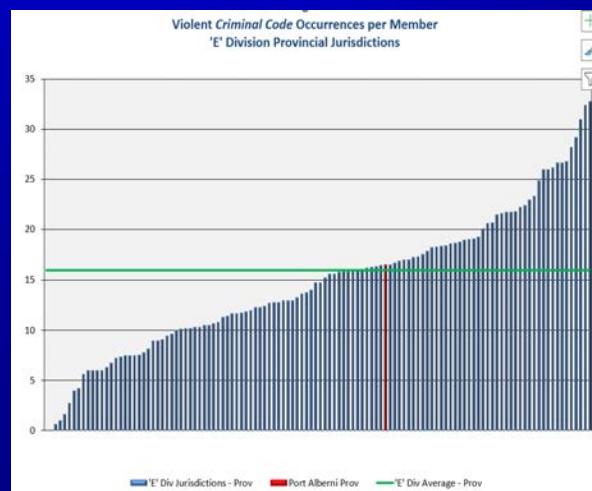
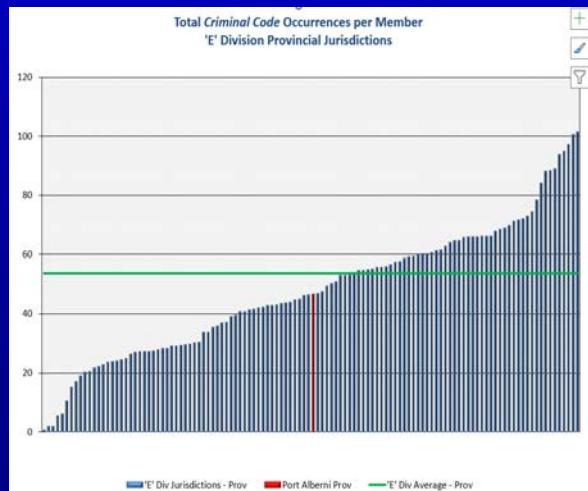
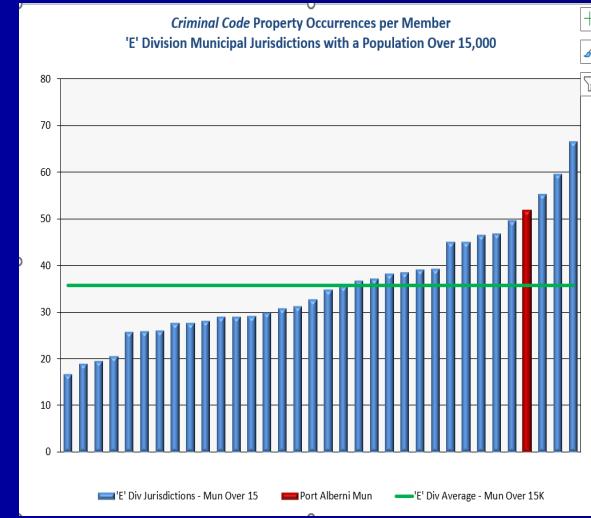
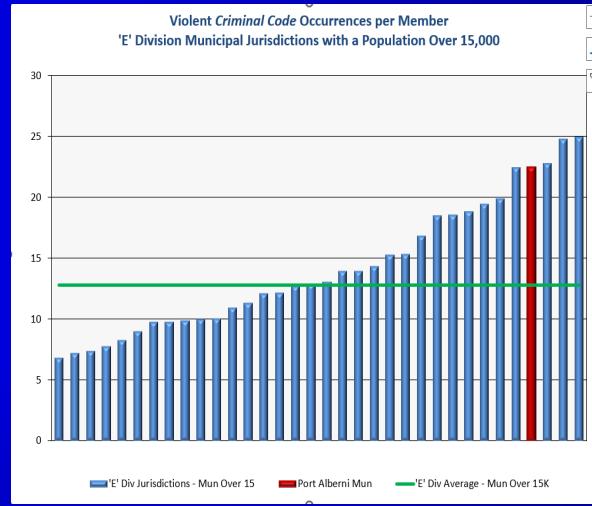
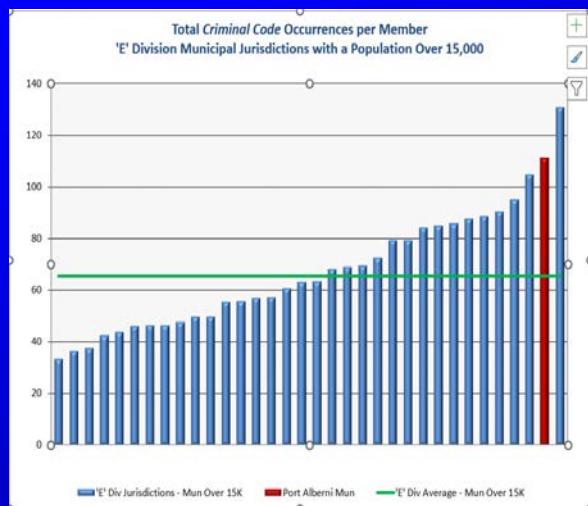
10 Year Crime Rate (# of Criminal Code Offences per 1000 Persons)										
City of Port Alberni	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024
	117.3	124.4	114.0	140.2	172.6	165.2	161.2	169.9	179	169
Rural Area	37.2	43.2	37.6	42.8	49.4	45.2	50.3	54.0	47	40

According to the 2024 report on Police Resources for British Columbia, the average provincial crime rates for municipal and provincial units policed by the RCMP is 79 and 66 respectively.

Port Alberni's municipal crime is at 169 and the provincial crime rate is at 40. This is a drop from 179 and 47 respectively.



# Criminal Case Load Comparisons – Municipal vs Provincial



Royal Canadian  
Mounted Police

Gendarmerie royale  
du Canada

REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026

Canada

# Port Alberni GIS

**Staffing: IPV – SA – MP**

**Caseload = approximately 50**

**Homicides and additional Serious Crimes**

**Funding**



Royal Canadian  
Mounted Police

Gendarmerie royale  
du Canada

**REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026**

**Canada**

# Crown Submissions

Port Alberni (Municipal & Provincial)			
Q4	2025	2024	2023
October	61	84	80
November	53	69	79
December	70	72	47
<b>Total</b>	<b>184</b>	<b>225</b>	<b>206</b>
<b>Year to Date</b>	<b>885</b>	<b>862</b>	<b>970</b>

2025	
<u>July - Sept</u>	<u>YTD</u>
Port Alberni	885
Nanaimo	1275
Comox	837
Duncan	454
Campbell River	673

2024	
<u>July – Sept</u>	<u>YTD</u>
Port Alberni	862
Nanaimo	1213
Comox	890
Duncan	556
Campbell River	648

2023	
<u>July - Sept</u>	<u>YTD</u>
Port Alberni	970
Nanaimo	1231
Comox	894
Duncan	624
Campbell River	644



Thank-you  
for your continued support.



Port Alberni RCMP



Royal Canadian  
Mounted Police

Gendarmerie royale  
du Canada

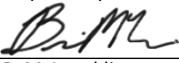
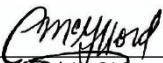
**REGULAR COUNCIL AGENDA - FEBRUARY 23, 2026**

Canada

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Date: February 16, 2026  
File No: 6123 & 6151 Russell Place  
  
**To:** Mayor and Council  
**From:** M. Fox, CAO  
**Subject:** **DEVELOPMENT APPLICATION – OCP and Zoning Bylaw Amendments for Property at 6123 & 6151 Russell Place, Port Alberni**  
LOT 1, SECTION 9, ALBERNI DISTRICT, PLAN 15459 (PID: 001-868-128)  
LOT 2 SECTION 9 ALBERNI DISTRICT PLAN 15459 (PID: 001-823-591)  
  
**Applicant:** D. Firouzli Architecture Inc. dba West Coast Native Health Care Society

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Prepared by:  B. McLoughlin Manager of Planning	Director:  S. Smith, Dir. of Development Services / Deputy CAO	CAO Concurrence:  McGifford A., CAO
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#### **RECOMMENDATIONS(S)**

- a. *THAT second reading of “Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119” be repealed.*
- b. *THAT “Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119” be read a second time, as amended.*
- c. *THAT “Official Community Plan Amendment Bylaw No. 5144” be now introduced and read a first time.*
- d. *THAT “Official Community Plan Amendment Bylaw No. 5144” be read a second time.*
- e. *THAT Bylaws No. 5119 and 5144 be advanced to a Public Hearing on March 23, 2026 at 6:00 pm in City Hall, Council Chambers.*

#### **PURPOSE**

To consider revised bylaw amendments that would enable development of 31 units of seniors housing at Tsawaayuus (Rainbow Gardens).

#### **BACKGROUND**

The West Coast Native Health Care Society has submitted a development proposal for additional housing at 6123 Russell Place, within the Tsawaayuus (Rainbow Gardens) complex. The proposal is intended to deliver affordable and subsidized housing for seniors living independently. The location would support aging in place by enabling residents to remain in the community and, if they choose, transition to the on-site care facility as their needs change. Official Community Plan (OCP) and Zoning Bylaw amendments are required to enable the development. The draft bylaws would establish a new institutional zone (P3 Care Campus) to enable the co-location of a care facility with accessory seniors' housing on the same property.

### Status of the Application

- June 23<sup>rd</sup>, 2025 - Council directed Administration to work with the applicant on lower density options for the development.
- August 11<sup>th</sup>, 2025 - Council supported a revised 2-storey design and directed Administration to prepare updated bylaws for consideration.

**Figure 1 – Subject Property Map**



<b>Location</b>	At the corner of Russell Pl. and Russell St. approximately 120m north of River Rd. / Highway 4
<b>Current Land Use</b>	<i>Institutional (INS)</i>
<b>Current Zoning</b>	<i>P1 Institutional</i>
<b>Proposed Zoning</b>	<i>P3 Care Campus</i>
<b>Total Area</b>	20,283 m <sup>2</sup> (5 acres)

## ALTERNATIVES/OPTIONS

1. *THAT second reading of “Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119” be repealed.*

*THAT “Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119” be read a second time, as amended.*

*THAT “Official Community Plan Amendment Bylaw No. 5144” be now introduced and read a first time.*

*THAT “Official Community Plan Amendment Bylaw No. 5144” be read a second time.*

*THAT Bylaws No. 5119 and 5144 be advanced to a Public Hearing on March 23, 2026 at 6:00 pm in City Hall, Council Chambers.*

2. *Council can choose to not give reading to the bylaws.*

3. *Council can request additional information from Administration.*

## ANALYSIS

Below is a summary of proposed amendments to the OCP and Zoning Bylaw:

1. Amend the text of the OCP to support care facilities having accessory residential units, and limited accessory services on land designated Institutional.
2. Amend the Zoning Bylaw text to add a new P3 Care Campus zone on Institutional land.
3. Amend the Zoning Bylaw map to change 6123 and 6151 Russell Place from P1 Institutional to P3 Care Campus.

The proposed amendments would update the City’s bylaws to achieve the following:

- Align the City’s OCP and Zoning Bylaw with an historical practice of permitting housing to be built on Institutional land where a care facility is located.
- Enable affordable housing to be built in-line with the City’s [2024 Interim Housing Needs Report](#), including rentals for people who are living independently, but expect to require care in the future.
- Rezone the Tsawaayuus (Rainbow Gardens) complex to enable future development of affordable seniors rental housing at 6123 Russell Place.
- Provide a zoning option for future care facilities to co-locate with rental housing.

## Official Community Plan

The proposed text amendment would align OCP policy with the status quo in Port Alberni, where care facilities have been co-located with affordable seniors housing. An OCP amendment is required because the current plan does not include policy support for residential uses on lands designated Institutional (INS). Specifically, the OCP text amendment would:

- a) Add support for residential units and limited accessory services as part of a care facility on lands designated Institutional (INS).
- b) Add support for the co-location of rental housing with care facilities on Institutional (INS) lands as part of a care facility campus.

Proposed changes to *OCP Section D: Plan Policies* are summarized in Table 2.

<b>Table 2 - Proposed OCP Text Amendments to Section D: Plan Policies</b>	
OCP Section	Proposed Text Amendment (new text in <b>blue</b> )
Section D: Plan Policies	Council Policy ... <b>2. Care facilities in areas designated Institutional (INS) may include limited accessory services intended to meet the daily needs of residents, and accessory residential dwelling units (including multi-residential). This may include dwelling units for seniors, or for those living independently but expecting to require supportive care in the future. The City recognizes that people require different forms of housing at various stages of life, and this policy supports a spectrum of housing in the community.</b>
Section D: Plan Policies 4.0 Residential Affordable Housing	...The Plan does not support concentration of specialty housing such as specialty senior's housing in a single location. Rather, it promotes integration of such housing throughout the community in order to provide greater housing diversity. <b>However, the Plan supports co-location of housing with a care facility on institutional lands as part of a care facility campus.</b>

#### Zoning Bylaw Text and Map Amendment

An amendment to the Zoning Bylaw is required to establish a new P3 Care Campus zone, and to reclassify the Rainbow Gardens properties on the Zoning Bylaw map. The proposed P3 zone aligns with the architectural designs submitted by the applicant.

The new zone includes a condition under section 5.33.3 restricting development to 9 metres in height, and a maximum 2 building storeys. Conditions also restrict accessory residential units to rental-only, and require adequate outdoor amenity space, parking, and landscape buffering. Limited personal service uses such as a barber or beauty shop are permitted within care facilities. A complete description of the P3 Care Campus zone is provided in the attached amending Bylaw No. 5119.

#### Transportation Impact Assessment

The applicant submitted a Transportation Impact Assessment (TIA) from a professional engineer. The TIA confirmed that the road network can accommodate traffic created by the new housing. However, it also noted a lack of suitable active transportation infrastructure, limited bus service, and a lack of amenities to support bus passengers.

#### **IMPLICATIONS**

There is strong demand for adequate and affordable seniors' housing in the community, as identified in the [2024 Interim Housing Needs Report](#) and [data inventory](#). The bylaw amendments would:

- Help preserve existing supportive and non-market housing, and provide options for building more in the future.
- Allow rental housing in Port Alberni to be co-located with care facilities on lands designated Institutional (INS) in the OCP.

- Enable 31 affordable rental housing units at Rainbow Gardens
- Enable more housing options for aging in place.
- Support a broader range of housing options that enable seniors to age in place.

## COMMUNICATIONS

A Public Hearing is required for the OCP and Zoning Bylaw amendments.

## BYLAWS/PLANS/POLICIES

### Official Community Plan Bylaw No. 4602

The proposed amendment would do the following:

- a) Add text to *Section D: Plan Policies, 3.1 Public Administration / Institutional* to support residential rental units and limited accessory services as part of a care facility on lands designated Institutional (INS).
- b) Add text to *Section D: Plan Policies, 4.0 Residential – Affordable Housing* to support the co-location of rental housing with care facilities on Institutional (INS) lands as part of a care facility campus.

### Zoning Bylaw No. 5105

The proposed amendment would do the following:

- a) Add text to *Section 5: Establishment of Zones* to create P3 Care Campus as a new zone.
- b) Change the Zoning Bylaw map to rezone 6123 and 6151 Russell Place from P1 Institutional to P3 Care Campus.

### 2024 Interim Housing Needs Report

A total 1,220 dwellings units are needed over the next 5 years to meet Port Alberni's immediate housing needs. This includes 176 units of deep subsidy and supportive rental, and 206 units of non-market rental. This development proposal would deliver 31 affordable rentals.

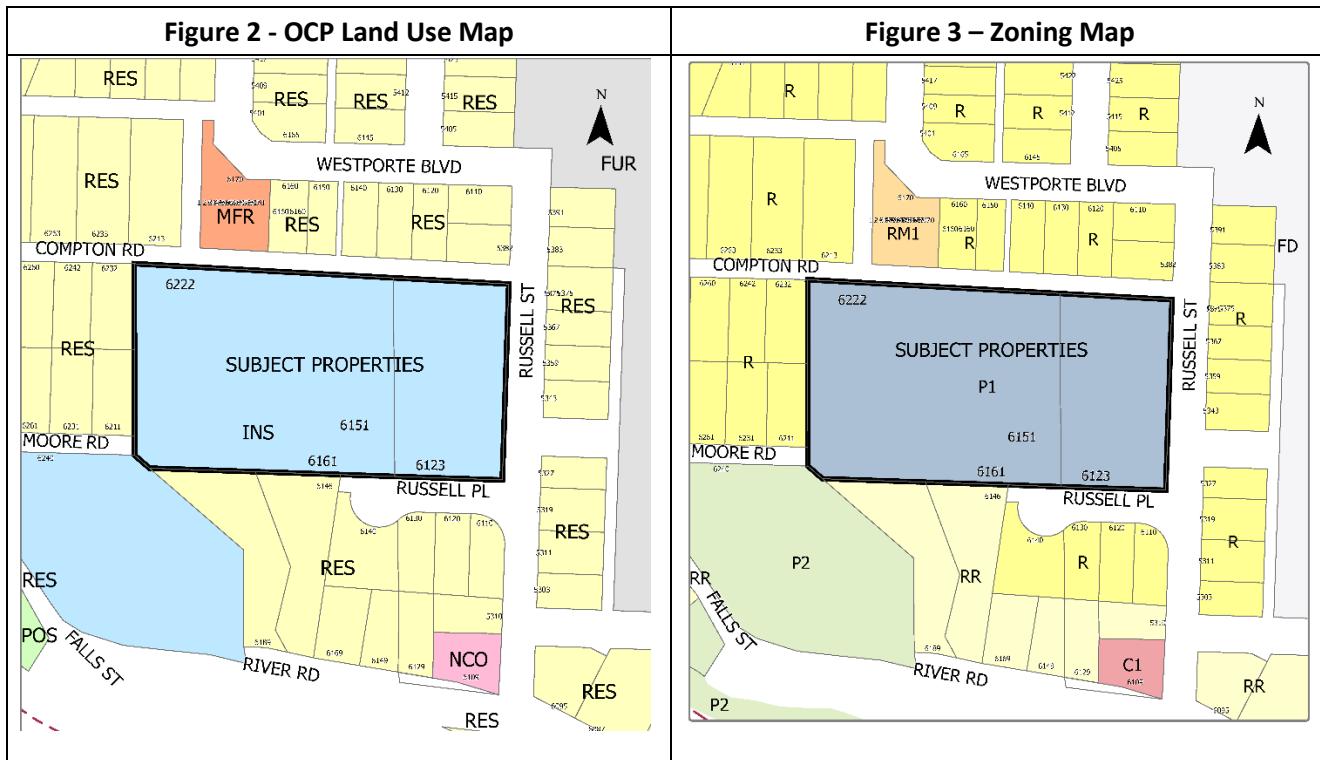
## SUMMARY

The City has received an application for OCP and Zoning Bylaw amendments, that would establish a new institutional “P3 Care Campus” zone for care facilities with accessory rental housing, and limited services to support their residents. The proposed amendments would also rezone the Tsawaayuus (Rainbow Gardens) complex at 6123 and 6151 Russel Place to enable future development of affordable rental housing for seniors.

## ATTACHMENTS/REFERENCE MATERIALS

1. *OCP Land Use and Zoning Maps*
2. *Official Community Plan Amendment Bylaw No. 5144*
3. *Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119*
4. *Preliminary Development Plans – 6123 Russel Place*

**ATTACHMENT 1 – OCP LAND USE AND ZONING MAPS**



# CITY OF PORT ALBERNI

## BYLAW NO. 5144

### A BYLAW TO AMEND THE OFFICIAL COMMUNITY PLAN FOR THE CITY OF PORT ALBERNI

The Municipal Council of the City of Port Alberni in Open Meeting Assembled Enacts as follows:

#### 1. Title

- 1.1 This Bylaw may be known and cited for all purposes as "Official Community Plan Amendment Bylaw No. 5144".

#### 2. Official Community Plan Text Amendment

- 2.1 Add the following text to Section D: Plan Policies, 3.1 Public Administration / Institutional as 3.1.2 of Council Policy, and re-number subsequent list items:
  - “2. Care facilities in areas designated Institutional (INS) may include limited accessory services intended to meet the daily needs of residents, and accessory residential dwelling units (including multi-residential). This may include dwelling units for seniors, or for those living independently but expecting to require supportive care in the future. The City recognizes that people require different forms of housing at various stages of life, and this policy supports a spectrum of housing in the community.”
- 2.2 Add the following text to the end of Section D: Plan Policies, 4.0 Residential, Affordable Housing:

“However, the Plan supports co-location of housing with a care facility on institutional lands as part of a care facility campus.”

**READ A FIRST TIME** this \_\_\_\_ day of \_\_\_\_, 2026.

**READ A SECOND TIME** this \_\_\_\_ day of \_\_\_\_, 2026.

**A PUBLIC HEARING WAS HELD** this \_\_\_\_ day of \_\_\_\_, 2026.

**READ A THIRD TIME** this \_\_\_\_ day of \_\_\_\_, 2026.

**FINALLY ADOPTED** this \_\_\_\_ day of \_\_\_\_, 2026.

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Mayor

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Corporate Officer

# CITY OF PORT ALBERNI

## BYLAW NO. 5119

### A BYLAW TO AMEND PORT ALBERNI ZONING BYLAW NO. 5105

The Municipal Council of the City of Port Alberni in Open Meeting Assembled Enacts as follows:

#### 1. Title

- 1.1 This Bylaw may be known and cited for all purposes as "Zoning Amendment (6123 & 6151 Russell Place), Bylaw No. 5119".

#### 2. Zoning Text Amendment:

- 2.1 Add the following text to Establishment of Zones Section 5.1:  
"P3 – Care Campus"
- 2.2 Zoning Bylaw No. 5105, 2024 is hereby amended by adding the following text under Section 5:

#### **P3 – CARE CAMPUS**

5.33 The purpose of this zone is to establish areas for institutional care facilities with accessory uses intended to meet the needs of residents. This includes accessory residential dwellings for those living independently, or semi-independently, but expecting to require care in the future.

##### 5.33.1 Permitted Uses

###### *Principal Uses*

*Community Care facility*  
*Hospital*

###### *Accessory Uses*

*Childcare centre*  
*Dormitory*  
*Medical service*  
*Multi-residential dwellings*  
*Office*  
*Personal Services*  
*Parking Lot*  
*Semi-detached dwelling*  
*Single detached dwelling*

##### 5.33.2 Site Development Regulations

Minimum <i>Lot Area</i>	2000 m <sup>2</sup>	(10,764 ft <sup>2</sup> )
Minimum <i>Frontage</i>	15 m	(49.2 ft)
Maximum <i>Coverage</i>	50%	
Minimum <i>Setbacks</i> (Exterior Lot Lines):		
<i>Front yard</i>	4.0 m	(13.1 ft)

<i>Rear yard</i>	9 m	(29.5 ft)
<i>Side yard</i>	4 m	(13.1 ft)
Minimum Setbacks (Interior Lot Lines)	1.5 m	(4.9 ft)
Maximum <i>Floor Area Ratio</i>	0.8	
Maximum <i>Height</i>		
<i>Principal Building</i>	12.5 m	(41.0 ft)
<i>Accessory Residential Building</i>	12.5 m	(41.0 ft)

### 5.33.3 Conditions of Use

- a) The following properties zoned P3 are restricted to a maximum building height of nine (9) metres, and a maximum two (2) building storeys:
  - 6123 Russel Place (PID: 001-823-591)
  - 6151 Russel Place (PID: 001-868-128)
- b) Occupancy of accessory residential dwelling units is restricted to *Residential Rental Tenure*.
- c) Abutting parcels zoned P3, and designated Institutional in the Official Community Plan, may be considered a single Care Campus.
- d) Accessory residential dwellings are permitted in a building that does not contain a *Principal Use*.
- e) Groups of single and semi-detached or multi-residential dwellings are permitted, as an exception to Section 6.1 of this Bylaw.
- f) *Useable Open Space* of 3.0 m<sup>2</sup> per unit must be provided as a common outdoor amenity area on any property with accessory residential dwellings. The common outdoor amenity area shall:
  - i. Be available for all residents of the principal buildings;
  - ii. Provide for pedestrian amenities, greenery, recreational space, and other leisure activities normally occurring outdoors.
  - iii. Not be located within a required exterior setback.
- g) Required number of on-site parking spaces for accessory multi-residential dwellings may be calculated at the rate specified for *Seniors Housing* in Section 7.9, where tenure for affordable seniors housing is specified in a housing agreement under Section 483 of the Local Government Act.
- h) Community care facilities for seniors may include an accessory beauty shop or other provision of personal services, limited to 16 m<sup>2</sup> (172 ft<sup>2</sup>) in floor area and 2 service chairs.
- i) A *landscape buffer* must be provided along any side or rear boundary of a lot in a P3 zone that abuts an R, RR, RM, or A zone.
  - i. Notwithstanding Section 6.7.4, screening not less than 1.5 m (4.9 ft) and not more than 1.8 m (6.0 ft) in height shall be provided

### **3. Zoning Map Amendment**

- 3.1 The properties, legally described as LOT 1, SECTION 9, ALBERNI DISTRICT, PLAN 15459 (PID: 001-868-128) located at 6151 Russel Place, and LOT 2 SECTION 9 ALBERNI DISTRICT PLAN 15459 (PID: 001-823-591) located at 6123 Russel Place shown outlined in heavy black line on Schedule A attached hereto and forming part of this bylaw, are hereby rezoned from 'P1 Institutional' to '**P3 Care Campus**' zone.
- 3.2 Schedule "A" (Zoning District Map) which forms an integral part of Port Alberni Zoning Bylaw 5105 is hereby amended to denote the zoning outlined in Section 2 above.

**READ A FIRST TIME** this 24<sup>th</sup> day of March, 2025.

**READ A SECOND TIME** this 24<sup>th</sup> day of March, 2025.

**A PUBLIC HEARING WAS HELD** this \_\_\_\_ day of \_\_\_\_ , 2026.

**APPROVED BY THE MINISTRY OF TRANSPORTATION** this \_\_\_\_ day of \_\_\_\_ , 2026.

**READ A THIRD TIME** this \_\_\_\_ day of \_\_\_\_ , 2026.

**FINALLY ADOPTED** this \_\_\_\_ day of \_\_\_\_ , 2026.

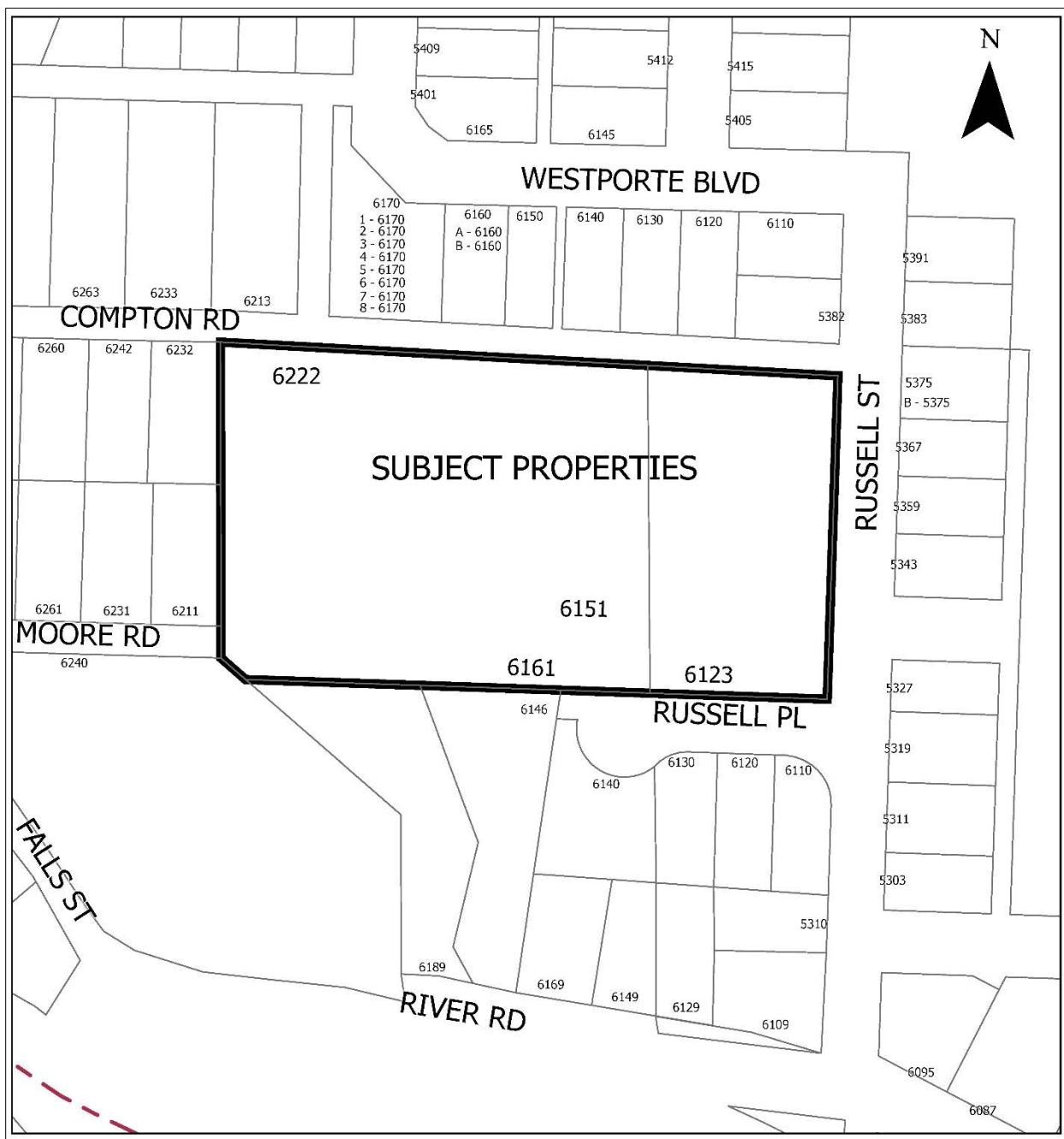
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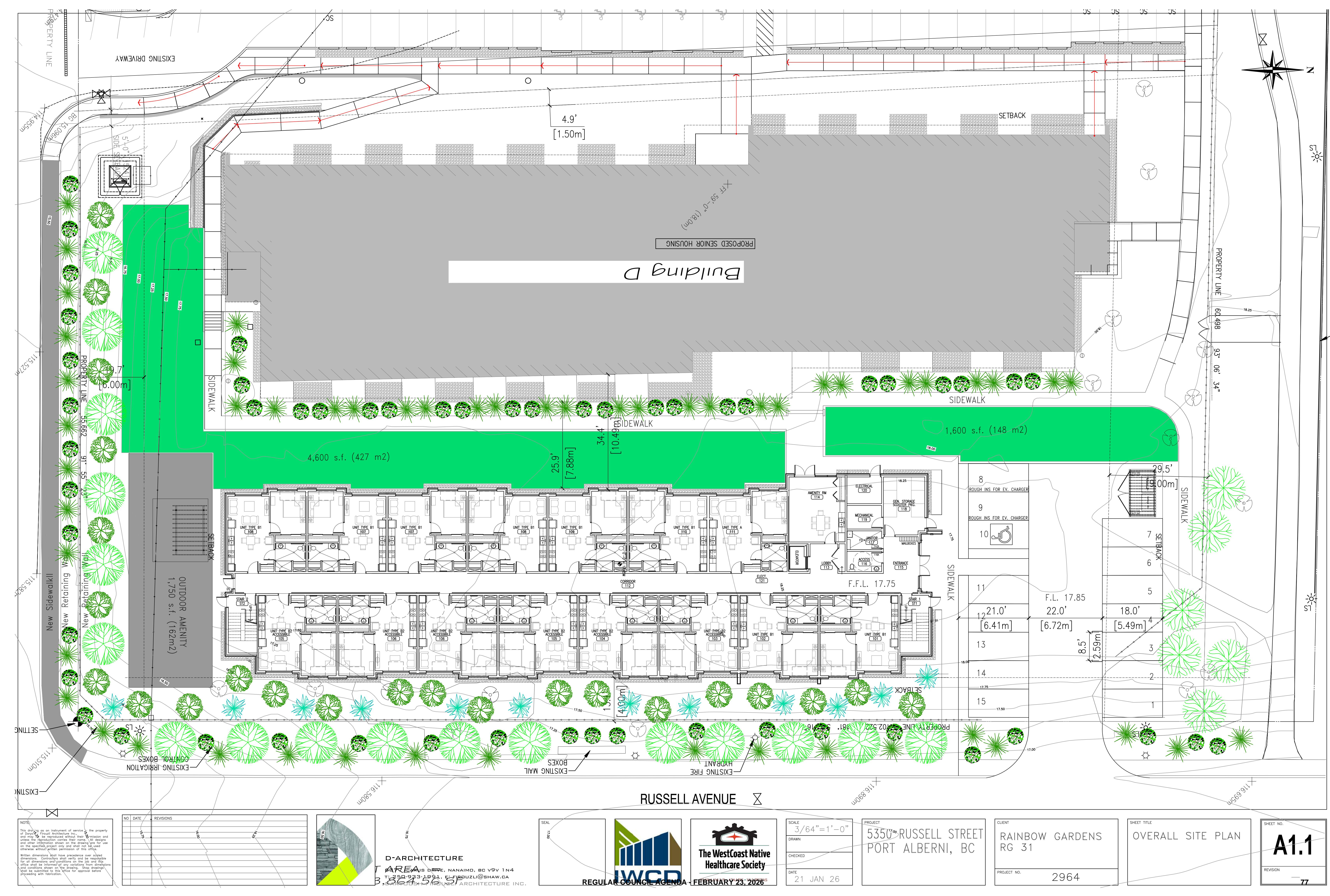
Mayor

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Corporate Officer

Schedule "A" to Bylaw No. 5119  
Site Plan





INTERIOR WALL TYPES		INTERIOR WALL TYPES		EXTERIOR WALL TYPES		WALL ASSEMBLY NOTES		FLOOR PLAN LEGEND		GENERAL NOTES		
1	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION 1" MIN. SPACER 2x4 WOOD STUDS @ 16" or 24" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD	UNIT	UNIT	A	CEMENT FIBERBOARD PANEL 3/4" x 2-1/2" CCA PLYWOOD STRAPPING 4" R16 MINERAL WOOL RIGID INSULATION ADHESIVE & PERMEABLE MEMBRANE PLYWOOD SHEATHING - STRUCTURAL 2x6 WOOD STUDS @ 16" o/c R24 BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 5/8" TYPE X GYPSUM BOARD	EXT. INT.	1. FOR EXTERIOR CLADDING (INCLUDING STONE VENEER) FASTENING REQUIREMENTS SEE CLADDING STRUCTURAL ENGINEER. 2. FOR LOCATION OF SHEAR WALLS SEE STRUCTURAL DRAWING. 3. FOR STUDS DIMENSION & SPACING AT LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4. ALL LOAD BEARING WALLS REQUIRED 1 HR. FIRE RATING (FOR LOCATIONS OF LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS). 5. CONCEALED SPACES IN INTERIOR WALLS & CEILINGS TO BE SEPARATED FROM CONCEALED SPACES IN EXTERIOR WALLS & ATTIC OR ROOF SPACES BY FIREBLOCKS. 6. CONCEALED SPACES WITHIN A WALL ASSEMBLY TO BE FIREBLOCKED AT EVERY CEILING LEVEL REQUIRED TO HAVE A FIRE RESISTANCE RATING SO THAT THE MAXIMUM HORIZONTAL DIMENSION IS 20M/15FT2 & THE MAXIMUM VERTICAL DIMENSION IS 3M/10FT. 7. ALL PENETRATION OF FIRE RATED WALL REQUIRED TO USE APPROVED FIRE STOPPING APPLICATION BY CONSULTANTS AND CITY OF NANAIMO INCLUDING INTERIOR LOADBEARING WALLS INSIDE UNITS 8. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYER(S) OF PLYWOOD AS REQUIRED FOR SHEAR WALLS. 9. VERTICAL PLYWOOD STRAPPING FOR CLADDING TO ALIGN W/WOOD STUDS OR SOLID BLOCKING IN FRAME WALLS.	EXTERIOR ELEVATION NUMBER (SEE A3 SERIES DRAWINGS) SHEET NUMBER	A3.1	1. ALL CONSTRUCTION TO COMPLY WITH PART 3 OF THE 2012 BC BUILDING CODE, EXCEPT WHERE LOCAL LAWS TAKE PREDENCE. 2. CONTRACTOR TO REPORT ALL ERRORS OR OMISSIONS IMMEDIATELY & PRIOR TO THE COMMENCEMENT OF THE WORK. 3. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONTINUING ANY PORTION OF THE WORK. 4. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UNDERGROUND SERVICES AND ANY DAMAGE CAUSED BY THE WORK. 5. CONTRACTOR TO ENSURE SMOOTH CONTINUOUS DRAINAGE AWAY FROM THE BUILDING TO DRAIN POINTS. 6. SEE CIVIL DRAWINGS FOR BUILDING FLOOR ELEVATIONS, SITE GRAVING & ROAD DIMENSIONS. 7. SEE LANDSCAPE DRAWINGS FOR PLANTING, FENCING, TRELLISES, ARBOURS & OTHER SITE FEATURES. 8. DIMENSIONS IN IMPERIAL UNITS NOTED OTHERWISE. 9. EXTERIOR WALL DIMENSIONS ARE TO FACE OF PLYWOOD UNLESS NOTED OTHERWISE. INTERIOR WALL DIMENSIONS ARE TO CENTRELINE UNLESS NOTED OTHERWISE. 10. PROVIDE MISCELLANEOUS STUDS, BRACING, FURRING OR BLOCKING AS REQUIRED. 11. MAINTAIN ACOUSTIC SEPARATION @ RECESSED FIXTURES & EQUIPMENT. 12. CONFIRM WINDOW AND DOOR ROUGH OPEN SIZES WITH SUPPLIERS. SIZES ON DRAWINGS ARE NOMINAL. 13. SEE SERIES A DRAWINGS TYPICAL UNIT PLANS & STAIR PLANS FOR ADDITIONAL DIMENSIONS, NOTES & WALL TYPES.	NO. DATE REVISIONS NO. DATE ISSUED FOR NEW RE-ZONING REVIEW 1 JUL 7/25	
2	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C STAGGERED ON COMMON 2x6 PLATE ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD	UNIT	CORRIDOR	B	AS PER TYPE A ABOVE EXCEPT CLADDING; 6" CEMENT FIBERBOARD HORIZONTAL SIDING	EXT.	C	BUILDING SECTION NUMBER (SEE A4 SERIES DRAWINGS) SHEET NUMBER	A4.1	1. FOR EXTERIOR CLADDING (INCLUDING STONE VENEER) FASTENING REQUIREMENTS SEE CLADDING STRUCTURAL ENGINEER. 2. FOR LOCATION OF SHEAR WALLS SEE STRUCTURAL DRAWING. 3. FOR STUDS DIMENSION & SPACING AT LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4. ALL LOAD BEARING WALLS REQUIRED 1 HR. FIRE RATING (FOR LOCATIONS OF LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS). 5. CONCEALED SPACES IN INTERIOR WALLS & CEILINGS TO BE SEPARATED FROM CONCEALED SPACES IN EXTERIOR WALLS & ATTIC OR ROOF SPACES BY FIREBLOCKS. 6. CONCEALED SPACES WITHIN A WALL ASSEMBLY TO BE FIREBLOCKED AT EVERY CEILING LEVEL REQUIRED TO HAVE A FIRE RESISTANCE RATING SO THAT THE MAXIMUM HORIZONTAL DIMENSION IS 20M/15FT2 & THE MAXIMUM VERTICAL DIMENSION IS 3M/10FT. 7. ALL PENETRATION OF FIRE RATED WALL REQUIRED TO USE APPROVED FIRE STOPPING APPLICATION BY CONSULTANTS AND CITY OF NANAIMO INCLUDING INTERIOR LOADBEARING WALLS INSIDE UNITS 8. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYER(S) OF PLYWOOD AS REQUIRED FOR SHEAR WALLS. 9. VERTICAL PLYWOOD STRAPPING FOR CLADDING TO ALIGN W/WOOD STUDS OR SOLID BLOCKING IN FRAME WALLS.	DETAIL NUMBER (SEE A7 SERIES DRAWINGS) SHEET NUMBER	A7.1
3	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD	UNIT	STAIR	D	HAROPEAN SIDING 1/2" MIN. PLYWOOD STRAPPING BREATHABLE MOISTURE BARRIER 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" o/c 1/2" PLYWOOD SHEATHING BREATHABLE MOISTURE BARRIER 1/2" MIN. PLYWOOD STRAPPING HAROPEAN - SMOOTH FINISH NOTE: EACH STUD CAVITY TO BE VENTED @ TOP & BOTTOM OF WALL	EXT. INT.	E	ROOM NAME & NUMBER SEE ROOM FINISH SCHEDULE	UNIT A 101	1. ALL CONSTRUCTION TO COMPLY WITH PART 3 OF THE 2012 BC BUILDING CODE, EXCEPT WHERE LOCAL LAWS TAKE PREDENCE. 2. CONTRACTOR TO REPORT ALL ERRORS OR OMISSIONS IMMEDIATELY & PRIOR TO THE COMMENCEMENT OF THE WORK. 3. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONTINUING ANY PORTION OF THE WORK. 4. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UNDERGROUND SERVICES AND ANY DAMAGE CAUSED BY THE WORK. 5. CONTRACTOR TO ENSURE SMOOTH CONTINUOUS DRAINAGE AWAY FROM THE BUILDING TO DRAIN POINTS. 6. SEE CIVIL DRAWINGS FOR BUILDING FLOOR ELEVATIONS, SITE GRAVING & ROAD DIMENSIONS. 7. SEE LANDSCAPE DRAWINGS FOR PLANTING, FENCING, TRELLISES, ARBOURS & OTHER SITE FEATURES. 8. DIMENSIONS IN IMPERIAL UNITS NOTED OTHERWISE. 9. EXTERIOR WALL DIMENSIONS ARE TO FACE OF PLYWOOD UNLESS NOTED OTHERWISE. INTERIOR WALL DIMENSIONS ARE TO CENTRELINE UNLESS NOTED OTHERWISE. 10. PROVIDE MISCELLANEOUS STUDS, BRACING, FURRING OR BLOCKING AS REQUIRED. 11. MAINTAIN ACOUSTIC SEPARATION @ RECESSED FIXTURES & EQUIPMENT. 12. CONFIRM WINDOW AND DOOR ROUGH OPEN SIZES WITH SUPPLIERS. SIZES ON DRAWINGS ARE NOMINAL. 13. SEE SERIES A DRAWINGS TYPICAL UNIT PLANS & STAIR PLANS FOR ADDITIONAL DIMENSIONS, NOTES & WALL TYPES.	DOOR & OR SCREEN NUMBER SEE DOOR SCHEDULE	101A
4	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD	INTERIOR	ELEVATOR	E	5/8" GYPSUM BOARD 2x4 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" GYPSUM BOARD SEE PLANS FOR WALL TYPE INTERIOR	EXT. INT.	0'-0"	TOP OF FLOOR ELEVATION	EXTERIOR WALL BELOW EXTERIOR WALL/BEAM/ROOF ABOVE	EXTERIOR ELEVATION NUMBER (SEE A3 SERIES DRAWINGS) SHEET NUMBER	A3.1	

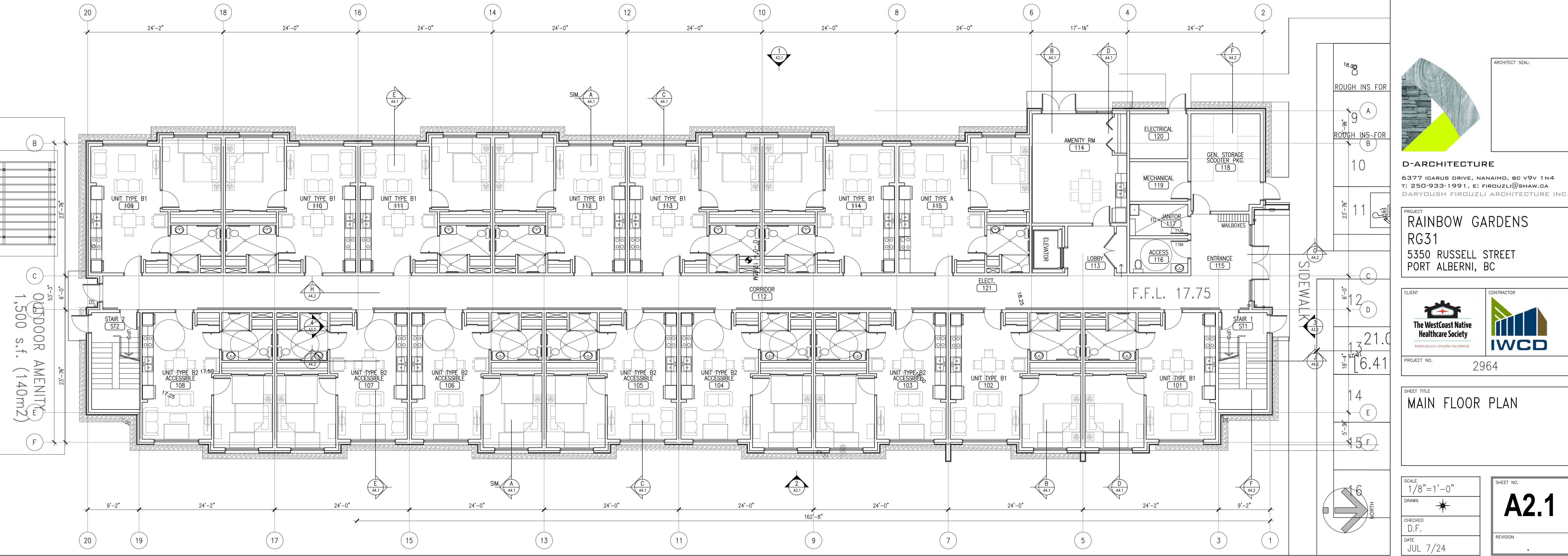
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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions of the job and this office shall not be liable for any errors or omissions and conditions shown on the drawing. Shop drawings shall be submitted to this office for approval before proceeding with fabrication.

NO.	DATE	REVISIONS
.	JUL 7/25	ISSUED FOR NEW RE-ZONING REVIEW
1		
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1. EXTERIOR ELEVATION NUMBER (SEE A3 SERIES DRAWINGS) SHEET NUMBER	A3.1
BUILDING SECTION NUMBER (SEE A4 SERIES DRAWINGS) SHEET NUMBER	A4.1
DETAIL NUMBER (SEE A7 SERIES DRAWINGS) SHEET NUMBER	A7.1
ROOM NAME & NUMBER SEE ROOM FINISH SCHEDULE	UNIT A 101
DOOR & OR SCREEN NUMBER SEE DOOR SCHEDULE	101A
EXTERIOR WINDOW NUMBER SEE WINDOW SCHEDULE	
TOP OF FLOOR ELEVATION	0'-0"
EXTERIOR WALL BELOW EXTERIOR WALL/BEAM/ROOF ABOVE	

### TYPICAL UNIT, STAIR & ELEVATOR PLANS - SEE DRAWINGS A5.1 - A5.3



INTERIOR WALL TYPES		INTERIOR WALL TYPES		EXTERIOR WALL TYPES		WALL ASSEMBLY NOTES		FLOOR PLAN LEGEND		GENERAL NOTES		
1	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION 1" THERM SPAN INSULATION 2x4 WOOD STUDS @ 16" or 24" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD FIRE SEPARATION: 1 HOUR FRR BCRC TABLE A-9.10.3.1.A W1g REQUIRED STC: 50	UNIT	UNIT	A	CEMENT FIBERBOARD PANEL 2x6 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD FIRE SEPARATION: 1 HOUR FRR BCRC TABLE A-9.10.3.1.A W1g NO REQUIRED STC RATING FOR UNIT INTERIOR WALLS	EXT. INT.	1. FOR EXTERIOR CLADDING (INCLUDING STONE VENEER) FASTENING REQUIREMENTS SEE CLADDING STRUCTURAL ENGINEER. 2. FOR LOCATION OF SHEAR WALLS SEE STRUCTURAL DRAWING. 3. FOR STUDS DIMENSION & SPACING AT LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS FOR LOAD BEARING WALLS (A-10.1.1). 4. ALL LOAD BEARING WALLS REQUIRE 1 HR FIRE RATING (FOR LOCATIONS OF LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS). 5. CONCEALED SPACES IN INTERIOR WALLS & CEILINGS TO BE SEPARATED FROM CONCEALED SPACES IN EXTERIOR WALLS & ATTIC OR ROOF SPACES BY FIREBLOCKS. 6. CONCEALED SPACES WITHIN A WALL ASSEMBLY TO BE FIREBLOCKED AT EVERY CEILING LEVEL REQUIRED TO HAVE A FIRE RESISTANCE RATING SO THAT THE MAXIMUM HORIZONTAL DIMENSION IS 20M/215FT2 & THE MAXIMUM VERTICAL DIMENSION IS 1.5M/5FT (SEE A-10.1.1). 7. A PENETRATION OF FIRE RATED WALL REQUIRED TO USE APPROVED FIRE STOPPING APPLICATION BY CONSULTANTS AND CITY OF NANAIMO INCLUDING INTERIOR LOADBEARING WALLS INSIDE UNITS. 8. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYER(S) OF PLYWOOD AS REQUIRED FOR SHEAR WALLS. 9. VERTICAL PLYWOOD STRAPPING FOR CLADDING TO ALIGN W/WOOD STUDS OR SOLID BLOCKING IN FRAME WALLS.	EXTERIOR ELEVATION NUMBER (SEE A3 SERIES DRAWINGS) SHEET NUMBER	1	NO DATE	REVISIONS	
2	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C STAGGERED ON COMMON 2x6 PLATE ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD FIRE SEPARATION: 1 HOUR FRR BCRC TABLE A-9.10.3.1.A W5g REQUIRED STC: 50	UNIT	CORRIDOR	B	AS PER TYPE A ABOVE EXCEPT CLADDING; 6" CEMENT FIBERBOARD HORIZONTAL SIDING	EXT.	1	BUILDING SECTION NUMBER (SEE A4 SERIES DRAWINGS) SHEET NUMBER	1	JUL 7/25	ISSUED FOR NEW RE-ZONING REVIEW	
3	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD FIRE SEPARATION: 1 HOUR FRR BCRC TABLE A-9.10.3.1.A W4g REQUIRED STC: 50	UNIT	STAIR	C	AS PER TYPE A ABOVE EXCEPT CLADDING; PREFINISHED METAL CLADDING	EXT.	1	DETAIL NUMBER (SEE A7 SERIES DRAWINGS) SHEET NUMBER	101			
4	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD FIRE SEPARATION: 1 HOUR FRR BCRC TABLE A-9.10.3.1.A W6g REQUIRED STC: 55	UNIT	ELEVATOR	D	HAROPEAN SIDING 1/2" MIN. PLYWOOD STRAPPING BREATHABLE MOISTURE BARRIER 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" O/C 1/2" PLYWOOD SHEATHING BREATHABLE MOISTURE BARRIER 1/2" MIN. PLYWOOD STRAPPING HAROPEAN - SMOOTH FINISH NOTE: EACH STUD CAVITY TO BE VENTED @ TOP & BOTTOM OF WALL	EXT. INT.	1	ROOM NAME & NUMBER SEE ROOM FINISH SCHEDULE	101A			
				E	5/8" GYPSUM BOARD 2x4 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" GYPSUM BOARD SEE PLANS FOR WALL TYPE	EXT. INT.	1	DOOR &/OR SCREEN NUMBER SEE DOOR SCHEDULE	0'-0"			
				F	5/8" GYPSUM BOARD 2x4 or 2x6 (AS REQUIRED) WOOD STUDS @ 16" or 24" O/C WALL FOR PLUMBING	EXT. INT.	1	EXTERIOR WINDOW NUMBER SEE WINDOW SCHEDULE				
							1	TOP OF FLOOR ELEVATION				
							1	EXTERIOR WALL BELOW				
							1	EXTERIOR WALL/BEAM/ROOF ABOVE				

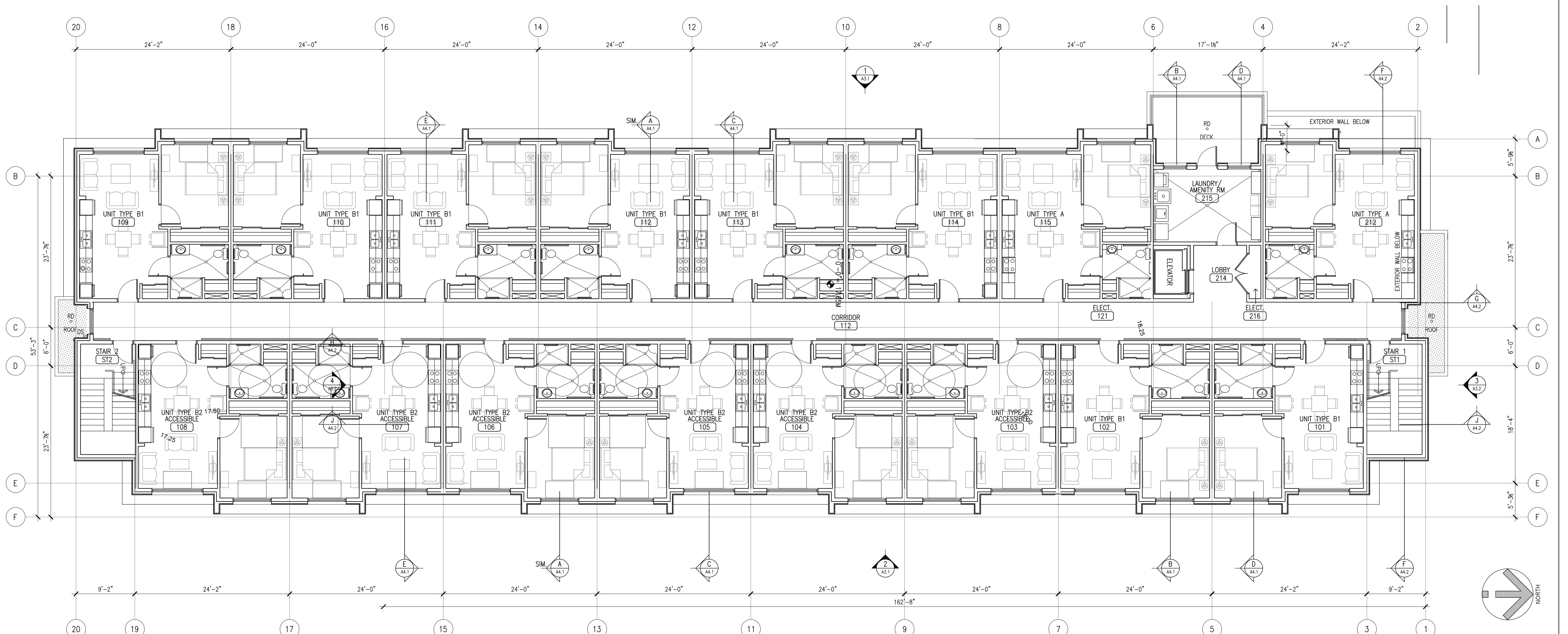
**ADDITIONAL WALL TYPES  
SEE DRAWINGS A5.1 - A5.3**

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NO	DATE	REVISIONS
. JUL 7/25 ISSUED FOR NEW RE-ZONING REVIEW		

**TYPICAL UNIT, STAIR & ELEVATOR  
PLANS - SEE DRAWINGS A5.1 - A5.3**



## ATIONS LEGEND

# ELEVATIONS LEGEND

	HARDIEPANEL SIDING SMOOTH FINISH JH BLACK WATER
	HARDIEPANEL SIDING SMOOTH FINISH PEARL GRAY
	PREFINISHED METAL CLADDING WESTFORM METAL RPOLOCK 12 COPPER PENNY
	PREFINISHED METAL CLADDING VERTICAL CORRUGATED CHARCOAL GREY
	PREFINISHED METAL CLADDING VERTICAL CORRUGATED COLOUR TBD
	CULTURED STONE VENEER COLOUR TBD
	CONCRETE FACED INSULATION PAINT FINISH TBD
	ROOF MEMBRANE
	PREFINISHED ALUMINUM SOFFIT JH BLACK WATER
	PREFINISHED ALUMINUM GUARDRAIL W/TEMPERED GLASS PANELS
	VINYL OR ALUMINUM WINDOW IN OPENING CASEMENT W/INSECT SCREEN
	VINYL OR ALUMINUM WINDOW VERTICAL SLIDER W/INSECT SCREEN
	STEEL, VINYL OR ALUMINUM DOOR SEE DOOR OR WINDOW SCHEDULE



ARCHITECT SEAL:

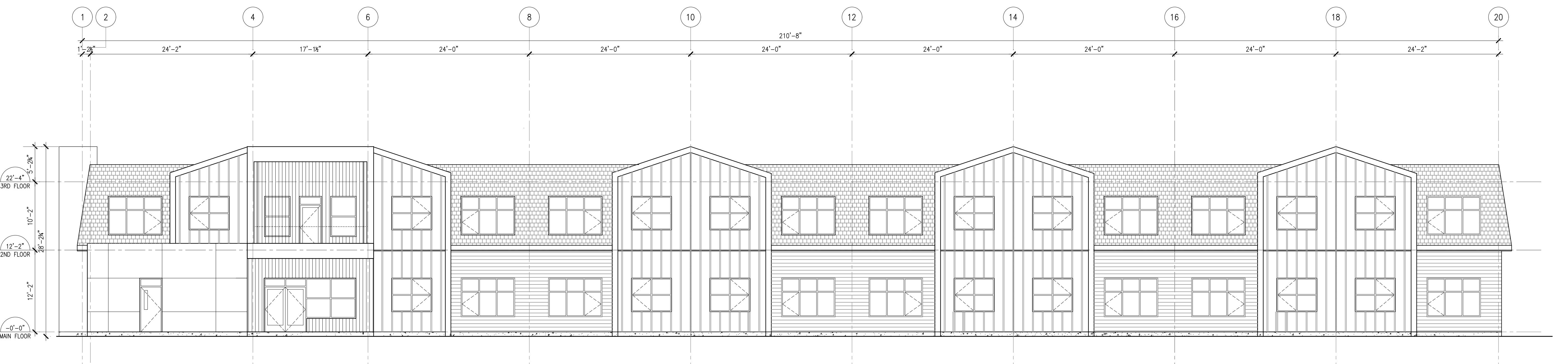
# DO-ARCHITECTURE

RAINBOW GARDENS  
1  
RUSSELL STREET  
ALBERTVILLE, BC



## EXTERIOR ELEVATIONS

1'-0"	
	
/24	
SHEET NO.	
<h1>A3.1</h1>	
REVISION	
<p style="text-align: center;">•</p>	



WEST EXTERIOR ELEVATION 1  
1/8"=1'-0" A2.1



EAST EXTERIOR ELEVATION 2  
1/8"=1'-0" A2.1



RECEIVED

FEB 09 2026

Mayor and Members of Council,

CITY OF PORT ALBERNI

I am writing to formally request Council's support for a Special Event Resolution to allow for a temporary road closure to host a community celebration marking the **60th Anniversary of Little Bavaria Restaurant**.

Little Bavaria has been operating in Port Alberni since 1966 and has been a long-standing local business and destination restaurant for residents and visitors alike. To celebrate this milestone, we are planning a one-day outdoor anniversary event that is intended to be family-friendly, well-managed, and respectful of the surrounding neighborhood.

#### **Requested Road Closure**

We are requesting approval to temporarily close **4th Avenue between Argyle Street and Angus Street** to vehicle traffic on:

- **Date:** Saturday, August 15
- **Time:** 12:00 PM to 7:00 PM

Local access, emergency access, and any required municipal conditions would be fully accommodated.

#### **Event Details & Safety Measures**

The event will take place directly adjacent to Little Bavaria Restaurant and will include:

- A temporary outdoor patio extension operating under our liquor license
- Security fencing enclosing the licensed area, as required by liquor regulations
- Two (2) temporary **20' x 20'** tents
- Picnic tables and seating for guests
- A traditional German band performing for approximately four hours

We will ensure appropriate crowd management, noise control, site supervision, and cleanup following the event. All required permits, insurance, and approvals will be obtained, and we will work closely with City staff to meet any operational or safety requirements.

This celebration is intended to honor a long-standing Port Alberni business while providing a positive, well-organized community event in the downtown core.

Thank you for your consideration of this request. I would be happy to provide any additional information or attend a meeting if required.

Respectfully,



Brandon Ford

[bford@thelittlebavaria.com](mailto:bford@thelittlebavaria.com)

250-248-1444

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input checked="" type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input checked="" type="checkbox"/> Development Services
<input type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input type="checkbox"/> Other

File # RCM Feb 23  
8100-01

# RECEIVED

FEB 05 2026

CITY OF PORT ALBERNI

February 2, 2026

Dear Mayor Sharie Minions and Council,



Council  
 Mayor  
 CAO  
 Finance  
 Corporate Services  
 Agenda

Economic Development  
 Engineering/PW  
 Parks, Rec. & Heritage  
 Development Services  
 Community Safety  
 Other

File # RCM Feb 23  
0230-20-BCFM

Last year in March 2025, the Ministry of Health renewed funding support for the 2025 BC Farmers' Market Nutrition Coupon Program season. BCAFM is proud to deliver this incredible program and share its positive impact in your community.

## A Positive Impact in Port Alberni

The BC Farmers Market Nutrition Coupon Program is addressing nutrition needs, affordability and food security for lower-income pregnant people, families with children, and seniors/elders in your community.

We collaborate with *Canadian Mental Health Association, Island Health- Early Years Program and Sage Haven Society* who provide program participants with \$27 a week for 16 weeks to purchase fresh, local foods – including fruits, vegetables, cheese, eggs, nuts, fish, meat, herbs, and honey–directly from BC farmers at your local farmers' market.

We've tallied up the results, and more than **141** lower-income households redeemed **\$60,912** in coupons at *Spirit Square Farmers Market* in 2025.

Your community members received access to healthy food while fostering stronger community connections. At the same time, local farmers, with the additional sales, can sustain and grow their farms, strengthening our local and regional food systems and contributing to a healthier, more connected community.

## Our Request to You

BCAFM does not have secured funding for the 2026 program season and beyond. We are asking for your support to secure continued funding for this powerful program. Sending a letter to The Honourable Josie Osborne, BC Minister of Health, would go a long way in demonstrating the importance of continued and expanded funding investment for the BC Farmers' Market Nutrition Coupon Program in your riding.

We look forward to continuing this meaningful work with your community.

## With gratitude,

A handwritten signature in black ink.

Heather O'Hara  
BCAFM Executive Director

A handwritten signature in black ink.

Wylie Bystedt  
Chair, BCAFM Board of Directors



## TOWN OF VIEW ROYAL

45 View Royal Avenue, Victoria, BC, Canada V9B 1A6  
Ph. 250-479-6800 • Fx. 250-727-9551 • E. [info@viewroyal.ca](mailto:info@viewroyal.ca) • [www.viewroyal.ca](http://www.viewroyal.ca)

## RECEIVED

February 11, 2026

FEB 12 2026

Mayor Sharie Minions  
City of Port Alberni  
4850 Argyle Street  
Port Alberni, BC V9Y 1V8

CITY OF PORT ALBERNI

Council       Economic Development  
 Mayor       Engineering/PW  
 CAO       Parks, Rec. & Heritage  
 Finance       Development Services  
 Corporate Services       Community Safety  
 Agenda *RCM Feb 23*  Other  
 File # *0400-66-2026*

Dear Mayor Minions and Council,

### Re: Participation in Coalition on Judicial Review of Provincial Housing Legislation

Thank you for your letter of January 27, 2026, confirming the City of Port Alberni's interest in potentially participating in a coordinated judicial review regarding recent provincial housing legislation.

The Town of View Royal appreciates Port Alberni's careful consideration of the implications these legislative changes may have on local autonomy, land-use governance, and the long-term sustainability of municipal planning processes.

To date, the Town of Oak Bay, the Regional District of North Okanagan, and the Township of Spallumcheen have formally confirmed their participation in advancing this initiative. Additional municipalities are currently reviewing the proposal with their respective Councils.

View Royal will convene a meeting at the end of this month with interested municipalities and regional districts to cooperatively establish a clear scope for the proposed judicial review, determine an appropriate governance structure for the coalition, coordinate legal representation, and make a collective decision on a fair and transparent shared cost model for the allocation of legal expenses.

The intent is to ensure that all participating jurisdictions have the opportunity to shape the plan, scope, governance, and financial principles collaboratively and transparently.

Further details regarding the meeting date and format will be circulated shortly. We welcome the City of Port Alberni's participation and look forward to working together in a constructive and cooperative manner.

Respectfully,

  
Sid Tobias  
Mayor  
Town of View Royal



Office of the Mayor

City Hall · 4850 Argyle Street · Port Alberni, BC · V9Y 1V8

Phone: 250.723.2146  
Fax: 250.723.1003  
portalberni.ca

Our File No. 0400-60

January 27, 2026

Town of View Royal  
45 View Royal Avenue  
Victoria, BC V9B 1A6  
Email: [mayorandcouncil@viewroyal.ca](mailto:mayorandcouncil@viewroyal.ca)

**Attn: Mayor and Council**

Dear Mayor and Council,

**Re: Participation in Coalition on Judicial Review of Provincial Housing Legislation**

Thank you for your letter dated December 4, 2025, regarding the formation of a coalition of British Columbia municipalities and regional districts to explore a coordinated judicial review of recent provincial housing legislation, including Bills 44, 47, 13, 15, and M216.

The City of Port Alberni wishes to confirm its interest in potentially participating in this collaborative initiative. Council recognizes the significant implications these legislative changes may have on local autonomy, land-use governance, and the long-term sustainability of municipal planning processes.

We appreciate the leadership shown by the Town of View Royal in bringing local governments together to evaluate a coordinated response. To support Council's consideration of next steps, we respectfully request further information regarding:

- The intended scope and structure of the proposed coalition.
- Any anticipated financial or resource commitments from participating local governments.
- The availability or coordination of legal support associated with the judicial review process.

We look forward to receiving additional details and to continuing the discussion on how municipalities and regional districts can work together on this important matter.

Thank you again for reaching out and for your continued advocacy on behalf of local governments across British Columbia.

CITY OF PORT ALBERNI

Sharie Minions  
Mayor

c:   
M. Fox, CAO  
A. McGifford, Director of Finance  
S. Smith, Director of Development Services/Deputy CAO  
S. Darling, Director of Corporate Services



# KEEPING YOU CONNECTED

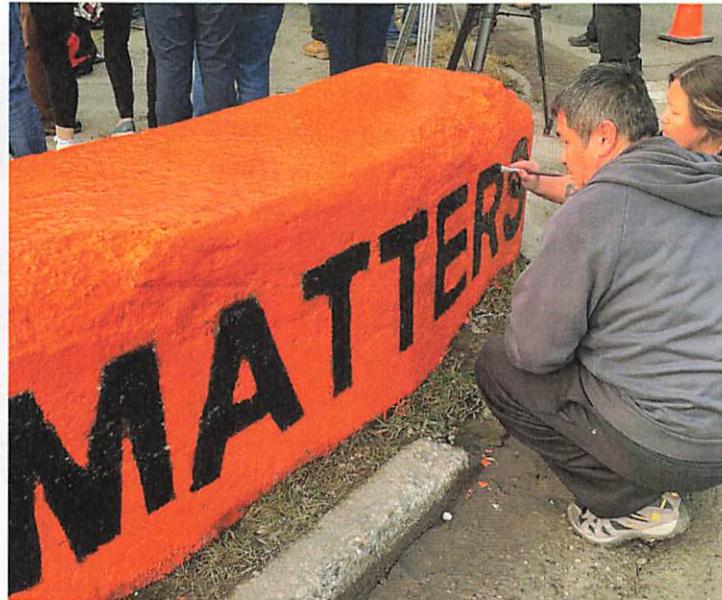
FEB 1 2020 **Highlights from the Alberni-Clayoquot Regional District (ACRD)**

## Board of Directors Meetings - January 2026

CITY OF PORT ALBERNI  
JANUARY 14 & 28, 2026



Like many in our community, the staff at the ACRD were shocked and upset about the vandalism to the "Orange Bridge." A group of staff represented the ACRD team in a show of support to Tseshah First Nation by helping to repaint the bridge on January 21.



### CORRESPONDENCE FOR ACTION

- The Board of Directors will provide a non-binding letter of support to the Organizing Committee of FIFA Activities in the Alberni Valley. This confirms its support for the Alberni Valley initiative to secure designation as a FIFA 2026 Pre-Tournament Training Facility. It came with the understanding that this does not commit the Board or local taxpayers to any financial, operational, or legal obligation, and that any future agreements be subject to Board approval and legal review.
- The Board of Directors joined the Village of Cumberland and other local governments in sending a letter to the Premier and select Ministers of British Columbia regarding watershed governance and funding.

### CONGRATULATIONS ON YOUR RETIREMENT, TRACY!

After 35 years of service at the ACRD, Tracy Bond is retiring. If you see her, make sure to wish her a happy retirement.

- The Board of Directors supported the request made by Tla-o-qui-aht First Nation to change the official names of Chesterman Beach to ḥaṇaquu?a, Kennedy Lake to ha?uukmin, and Meares Island to wančas hiłhū?is.
- The Board of Directors nominated Director Fred Boyko to be the Alberni-Clayoquot Regional District's nominee for consideration to the Port Alberni Port Authority's Port Advisory Nominating Committee.

### REQUEST FOR DECISIONS

- The Board of Directors re-confirmed the Board Remuneration Review Policy as presented and instruct staff to commence the process to appoint members to the 2026 Board Remuneration Review Committee, including putting out a call for submissions for a member-at-large to sit as a volunteer on the 2026 Board Remuneration Review Committee.

### BOARD OF DIRECTORS

**Chair:** John Jack  
Huu-ay-aht First Nations  
**Councillor Debbie Haggard**  
City of Port Alberni (vice-chair)  
**Director Bob Beckett**  
Electoral Area "A" Bamfield  
**Director Fred Boyko**  
Electoral Area "B" Beaufort

**Director Vaida Siga**  
Electoral Area "C" Long Beach  
**Director Penny Cote**  
Electoral Area "D" Sproat Lake  
**Director Susan Roth**  
Electoral Area "E" Beaver Creek  
**Director Mike Sparrow**  
Electoral Area "F" Cherry Creek

**Mayor Sharie Minions**  
City of Port Alberni  
**Councillor Tom Stere**  
District of Tofino  
**Mayor Marilyn McEwen**  
District of Ucluelet  
**Councillor Kirsten Johnsen**  
Toquaht Nation

**Councillor Moriah Cootes**  
Uchucklesaht Tribe Government  
**Levana Mastrangelo - Executive Legislator**  
Yuulū?il?ath Government  
For more information, visit the ACRD Website ([www.acrd.bc.ca](http://www.acrd.bc.ca)) or contact the Manager of Administrative Services at 250-720-2731 or e-mail [hzenner@acrd.bc.ca](mailto:hzenner@acrd.bc.ca).

**JANUARY 14&28, 2026 (CONTINUED)****REQUEST FOR DECISIONS**

The Board will:

- Approve the lobbying strategy and direct staff to implement immediate next steps as identified in the December 16, 2025, report
- Allocate the identified staff time in the 2026 budget to create a vision consensus toward achieving a coordinated regional lobbying effort to request the Province of BC to:
  - establish an emergency access route as an immediate priority, and
  - continue a phased approach for a viable secondary access road/highway that is open year-round.
- The Board of Directors will send letters to the Minister of Environment and Parks and to Island Health regarding accessibility concerns in the Alberni-Clayoquot Region.
- The Board of Directors appointed Cynthia Dick to the position of Chief Election Officer and Heather Zenner to the position of Deputy Chief Election Officer for the purposes of organizing and conducting the 2026 general local elections for the Alberni-Clayoquot Regional District.
- The Board of Directors provided a letter of support for the Alberni Valley Makerspace Society (Makerspace) to support grant applications.
- The Board of Directors adopted:
  - Bylaw R1033-9 Amendment - West Coast Landfill Tipping Fee and Regulation Bylaw, 2026
  - Bylaw No. F1148-5, Beaver Creek Local Service Area Rates and Regulations Amendment Bylaw, 2026
  - Bylaw No. F1144-3, Millstream Water Local Service Area Rates and Regulations Amendment Bylaw, 2026
  - Bylaw cited as "Bylaw A1085-2, Alberni-Clayoquot Regional District Officers' Appointment and Delegation Amendment, 2026"
  - Bylaw cited as "Revenue Anticipation Borrowing Bylaw No. F1173, 2026"
  - Bylaw cited as "Bylaw F1170-6, 2025 to 2029 Alberni-Clayoquot Regional District Financial Plan Amendment"
  - Bylaw No. A1094 Respectful Spaces Bylaw, 2026.
  - Bylaw No. PS1008-1, Bylaw Notice Enforcement Amendment Bylaw, 2026
- The Board of Directors directed staff to include Proposed Initiative Case 13, Referendum for Service Creation for Annual Grant-in-Aid for the Cherry Creek Community Hall, in the 2026-2030 Draft ACRD Financial Plan.
- The Board of Directors directed staff to include Proposed Initiative Case 14, Leasing of External Office Space, in the 2026-2030 Draft ACRD Financial Plan.
- The Board of Directors authorized staff to submit:
  - A grant application to the BC Air Access Program (BCAAP) for funding toward the construction of a new equipment storage facility at the Alberni Valley Regional Airport and, if the application is successful, the Board directs staff to include the project and associated grant administration in the 2026 and 2027 workplans
  - Submit a grant application to the BC Air Access Program (BCAAP) for funding toward the design and construction of a fuel distribution system at the Alberni Valley Regional Airport and, if the application is successful, the Board directs staff to include the project and associated grant administration in the 2026 and 2027 workplans.
- The Board of Directors will apply to the Union of BC Municipalities - Community Emergency Preparedness Program Fund for the Emergency Operations Centres and Training grant funding stream, in partnership with the City of Port Alberni and direct staff to provide overall grant management, if successful.
- The Board of Directors approved the 2026 ACRD Standing/Select Committee Appointments and Appointments to Outside Boards, Agencies, and Commissions as presented.
- The Board of Directors endorsed the resolutions and directed staff to submit for consideration at the 2026 Association of Vancouver Island and Coastal Communities Annual General Meeting and Conference:
  - CC130-H Hercules fleet
  - short-term rentals on ALR land
- The Board of Directors directed staff to:
  - Include the allocation of \$100,000 in the General Government Service in the 2026 budget to take the lead on coordinating the community efforts in addressing retention and recruitment of healthcare providers in the region, including coordinating support of community groups as they advance the development of a multidisciplinary medical clinic/campus of care



JANUARY 14&28, 2026 (CONTINUED)

- Bring a more detailed report regarding the costs and timelines associated with establishing a service for acquiring lands of strategic interest
- Develop a framework for how they would advance the development of a multi-disciplinary campus of care and report back
- The Board of Directors directed staff to include Electoral Area "D" Sproat Lake Incorporation Study in the 2026 workplan and 2026-2030 Draft ACRD Financial Plan dependent on secured funding from the Ministry of Housing and Municipal Affairs.
- The Board of Directors directed staff to delay Log Train Trail Regulations and the Floodplain Bylaw Development and Implementation to the 2027 workplan.

## PLANNING MATTERS

- **Temporary Use Permits**
  - **Issued**
    - TUP25015 - Long Beach
    - TUP25014 - Sproat Lake
    - TUP25011 - Sproat Lake
- **Rezoning and Bylaws**
  - **Received three readings:**
    - RE25004 - Beaver Creek
  - **Adopted:**
    - P1526, Sproat Lake Official Community Plan Amendment Bylaw
    - P1527, Regional District of Alberni-Clayoquot Zoning Atlas Amendment Bylaw
- The Board of Directors forwarded to the Agricultural Land Commission:
  - ALC application AE24001 for decision with a recommendation to consider Access Option A or C.
  - ALC application AF25004 to the Agricultural Land Commission for decision.
- The Board of Directors directed staff to provide a referral response to the Comox Valley Regional District indicating that Bylaw No. 810, Comox Valley Regional District Regional Growth Strategy Bylaw No. 120, 2010, Amendment No. 2, does not affect the interests of the Alberni-Clayoquot Regional District and adoption of the bylaw is supported following the public hearing.

## COMMITTEE REPORTS

- The Board of Directors directed staff to investigate the creation of a potential service for Vulnerable Peoples Services in the region and bring a report to the February 11, 2026, Board of Directors meeting.
- The Board of Directors directed staff to develop a volunteer management framework for Parks and Trails aligning with Category 2 and Category 3; if they have the specific skill sets, a formal community group managed program.

## REPORT OUT FROM IN CAMERA

- The following resolution passed in the portion of the Board of Directors meeting that was in camera:
  - THAT the Alberni-Clayoquot Regional District Board of Directors rise and report on the in-camera resolutions passed at the November 26, 2025 Board of Directors meeting to enter into a contract with 1188827 BC Ltd, in the amount of \$9,800 per month plus annual adjustments in years two (2) and three (3) based on the Consumer Price Index (CPI) for the Bamfield Waterworks Operator Contract and to investigate an amendment to Bylaw F1147 to cover the increased costs and increase capital reserve contributions.

## Community Wood Smoke Reduction Program returns for 2025/26

SCAN  
ME!



For more information, go to:  
[www.acrd.bc.ca](http://www.acrd.bc.ca)  
or phone 250-720-2700.

Date: February 13, 2026  
 File No: 0640-30-February 23, 2026  
 To: Mayor & Council  
 From: A. McGifford, CAO  
 Subject: Transportation Master Plan Survey #2

Prepared by: <b>D. ARSENAULT</b> MGR. OF ENGINEERING	Supervisor: <b>J. MACDONALD</b> DIR. OF INFR. SERVICES	CAO Concurrence:  <b>A. McGifford</b> , CAO
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#### RECOMMENDATION[S]

THAT Council receive the report 'Transportation Master Plan Survey #2' dated February 13, 2026.

#### PURPOSE

To inform Council of the content and objectives of an upcoming public survey for the Transportation Master Plan.

#### BACKGROUND

The Transportation Master Plan project is mid-way through Phase 3, "Developing the Plan" (see Figure 1).

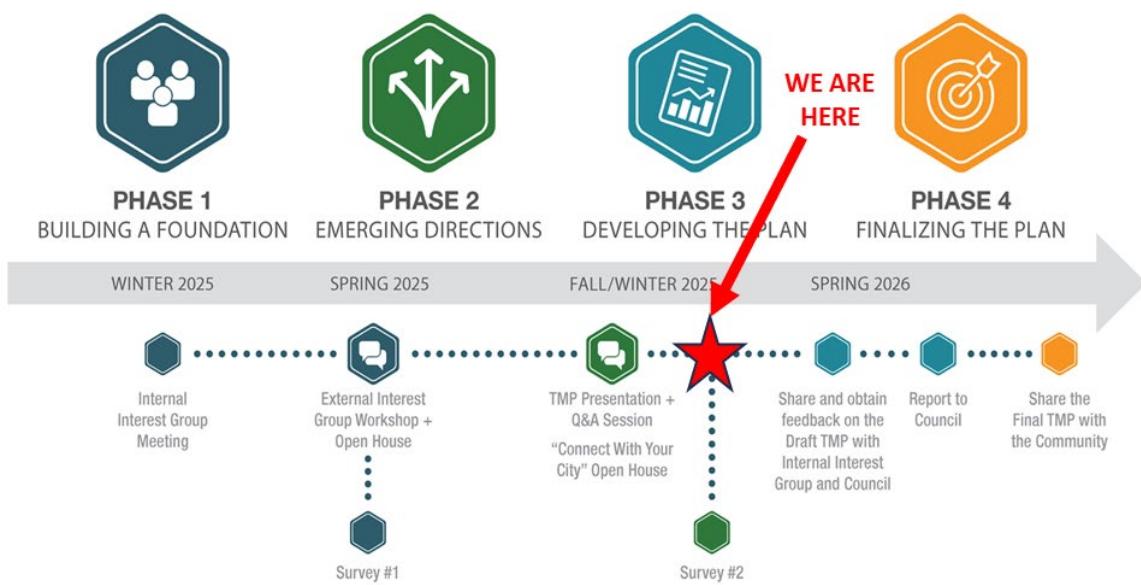


Figure 1: *Transportation Master Plan phases*

The project team (Bunt & Associates, Uplift Communications, and city staff) have drafted a vision, goals, objectives, priorities, and network plans that are proposed to form the basis of the Master Plan. Public engagement is underway, to gauge community support for (or opposition to) these elements, and to collect feedback on what should be altered, removed, or added. A public survey, planned to launch the week of

February 23, is an important component of this process. The results of community engagement will give the project team the direction needed to create a detailed draft Master Plan for the community's consideration.

The draft vision, goals, priorities, and network plans were presented at the November 26<sup>th</sup>, 2025 *Connect with your City* event, and are available for review at <https://www.letsconnectpa.ca/tmp>. A brief summary follows.

**Draft Transportation Vision:**

Port Alberni's transportation system offers a safe and enjoyable journey for everyone—whether walking, wheeling, taking transit, or driving. Well-planned connections within the city and to the wider region help ensure a highly livable and sustainable community.

**Draft Goals:**

1. Restore existing transportation infrastructure
2. Encourage active transportation and improve connectivity for people walking, biking, and rolling
3. Improve road safety for all users

**Proposed Strategic Policies:**

1. Complete Streets Policy
2. Traffic Calming Policy
3. Safe Systems Design Policy
4. Transportation Demand Management and Parking Management Policy

**Proposed Bylaw:**

1. Truck Routes Bylaw

**Proposed Capital Programs:**

1. Sidewalk infilling and accessibility upgrades
2. New / improved bike lanes and bikeways
3. Shared walking, biking, and rolling facilities (multi-use paths)
4. Intersection safety improvements
5. Neighbourhood Traffic Calming

**ALTERNATIVES/OPTIONS**

1. *THAT Council receive the report 'Transportation Master Plan Survey #2' dated February 13, 2026.*

**ANALYSIS**

The Transportation survey can be completed online between February 24 and March 17. Printed copies will also be available upon request and at City reception desks, and can be submitted by mail or hand delivery to any City reception desk.

The survey includes a link to the project web page where project documents and presentation materials are hosted, to enable citizens to give informed responses to survey questions.

Survey questions ask respondents:

- How aligned they feel with the draft vision, and each of the draft goals, and policies
- The relative importance (prioritization) of each goal
- Their level of support (or opposition) for specific elements of the proposed capital programs
- Their level of support (or opposition) for increasing the Transportation budget to fund implementation

Some revisions were made to the draft Pedestrian and Cycling Network plans subsequent to the versions presented at *Connect with Your City*. The updated draft Pedestrian Network plan (Figure 2) shows existing and proposed sidewalks and multi-use paths along key transportation routes. The updated draft Cycling Network plan (Figure 3) shows existing and proposed bike lanes and bikeways.

Results of the survey will be included in the Round 2 Engagement Summary report, which is planned to be presented to Council and published in April.

#### **IMPLICATIONS**

Nil.

#### **COMMUNICATIONS**

The quality and value of the survey results are dependent on the level of community participation. If the number of survey respondents is low, the results may not reflect the majority views of the community. Therefore, the Transportation survey will be promoted in a variety of ways:

- Media release
- Social media posts (Facebook)
- Email notifications to people subscribed to the City's online engagement platform
- Alberni Valley News
- Posters at City facilities
- City website banner
- Targeted emails to local interest groups and agencies

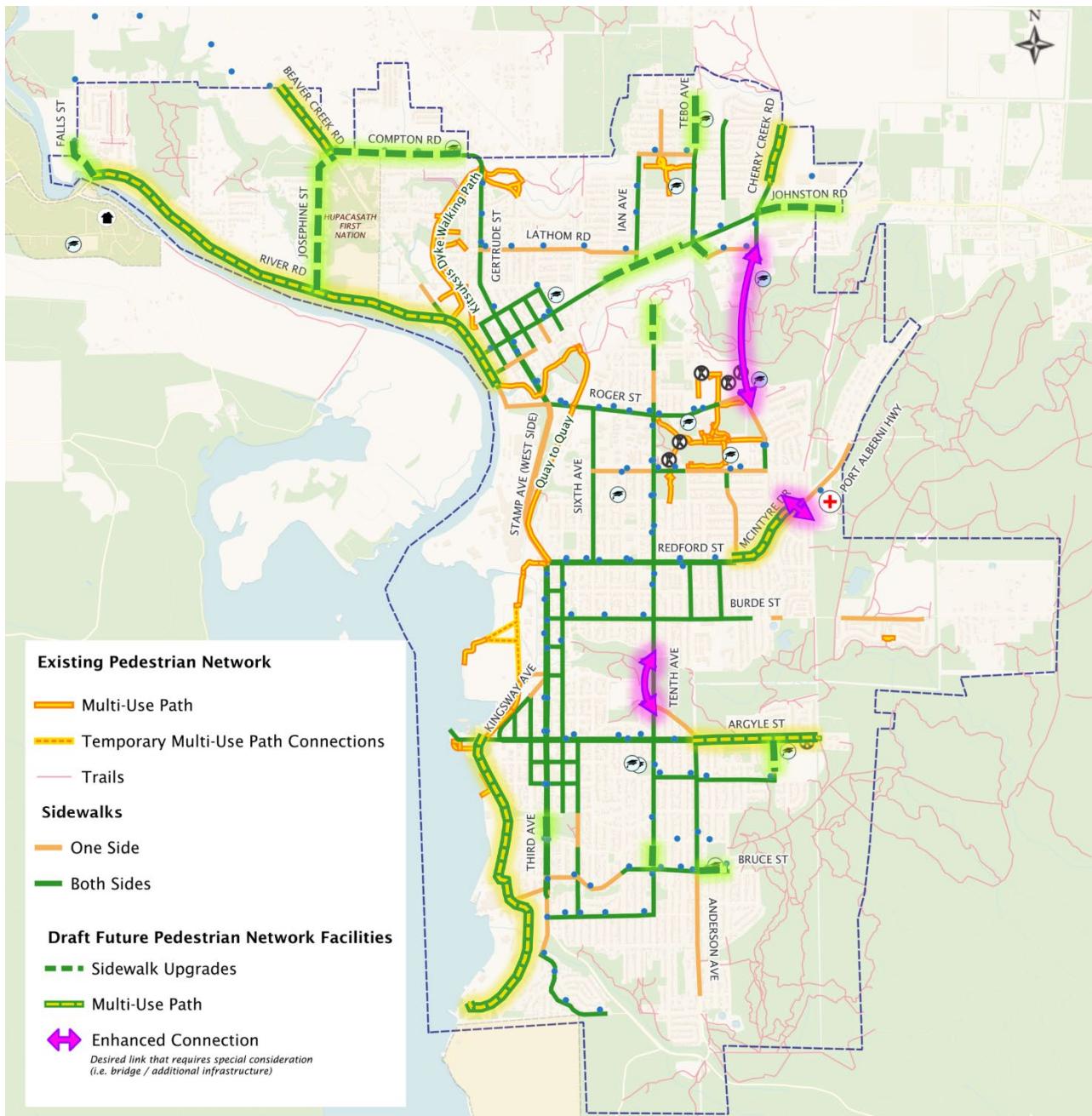


Figure 2: Draft Pedestrian Network

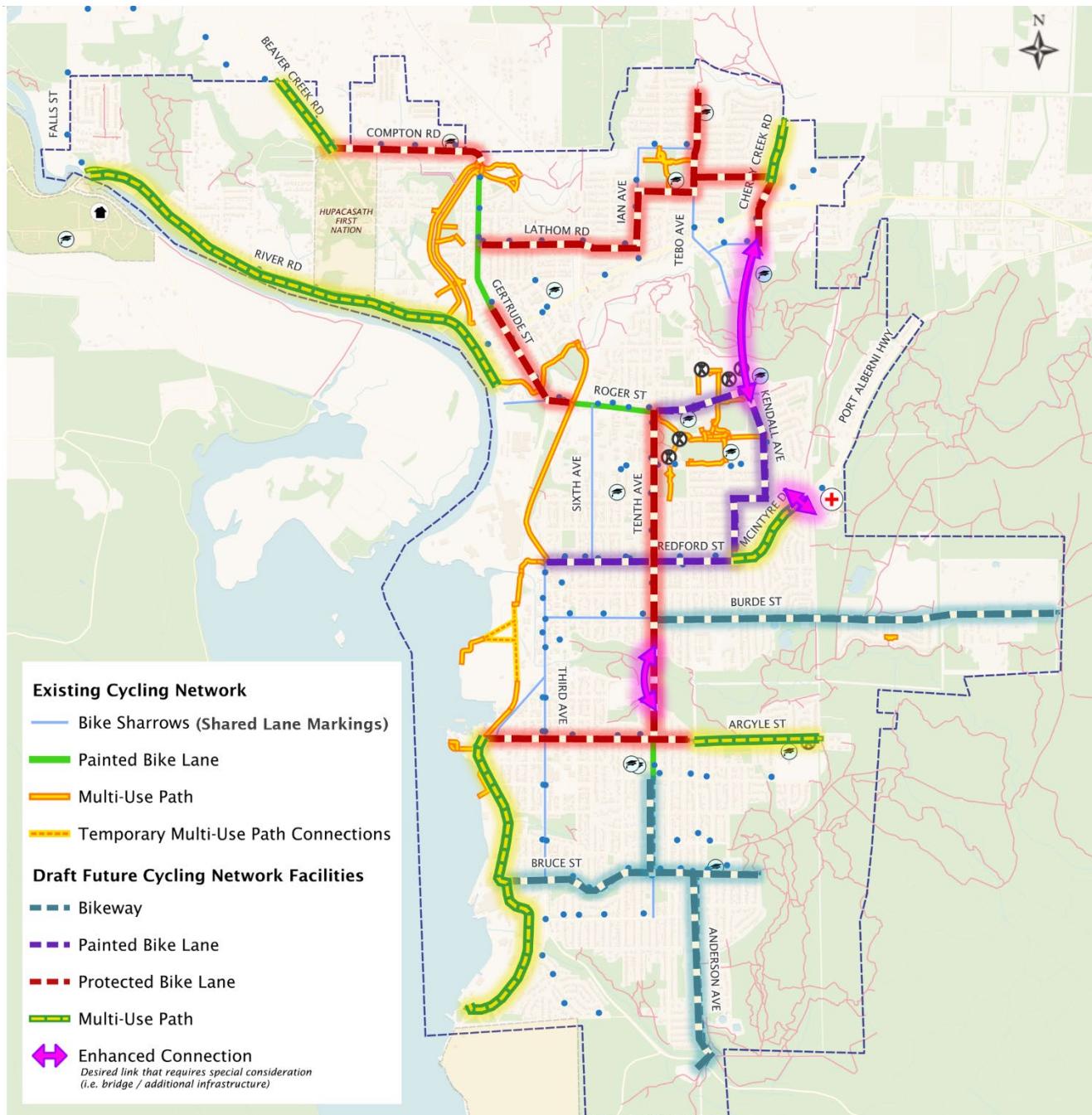


Figure 3: Draft Cycling Network

## **BYLAWS/PLANS/POLICIES**

Developing the Transportation Master Plan aligns with many of the goals of the *2023 – 2027 Corporate Strategic Plan*:

- Be a community that is connected by safe, walkable, green streets, and accessible multi-modal pathways.
- The City adapts in response to ongoing demographic change and community development.
- The City's citizens receive the best value from its service providers.
- City infrastructure is renewed in a sustainable and environmentally conscious manner.
- The community is connected with safe pathways and trails that are multi-modal. Pedestrians and cyclists are safe and feel welcome.

## **SUMMARY**

A public survey, planned to launch the week of February 23, will gauge community support for (or opposition to), and gather feedback on, the Transportation Master Plan draft vision, goals, priorities, and network plans.

The results of community engagement will give the project team the direction needed to create a detailed draft Master Plan for the community's consideration.

## **ATTACHMENTS/REFERENCE MATERIALS**

Nil.