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**AGENDA - REGULAR MEETING OF COUNCIL**  
**Monday, August 11, 2025 @ 2:00 PM**  
**In the City Hall Council Chambers & Via Video-Conference**  
**4850 Argyle Street, Port Alberni, BC**

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*The following pages list all agenda items received by the deadline [12:00 noon on the Wednesday before the scheduled meeting]. A sample resolution is provided for most items in italics for the consideration of Council. For a complete copy of the agenda including all correspondence and reports please refer to the City's website [portalberni.ca](http://portalberni.ca) or contact Corporate Services at 250.723.2146 or by email [corp\\_serv@portalberni.ca](mailto:corp_serv@portalberni.ca)*

*Watch the meeting live at [www.portalberni.ca](http://www.portalberni.ca)*

*Register to participate via webinar at: <https://portalberni.ca/council-agendas-minutes>*

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**A. CALL TO ORDER & APPROVAL OF THE AGENDA**

1. Council would like to acknowledge and recognize that we work, live and play in the City of Port Alberni which is situated on the unceded territories of the Tseshaht [čišaaʔath] and Hupačasath First Nations.
2. Late items identified by Councillors.
3. Late items identified by the Corporate Officer.
4. Notice of Video Recording (live-streaming and recorded/broadcast on YouTube).

*THAT the agenda be approved as circulated.*

**B. ADOPTION OF MINUTES - Page 7**

1. *THAT the Minutes of the Special and Regular meetings of Council on July 14, 2025 be adopted as presented.*

**C. DELEGATIONS**

**D. UNFINISHED BUSINESS**

*Includes items carried forward from previous Council meetings.*

**E. STAFF REPORTS**

*Members of the public may be recognized by Council to speak to a report if the report is a response to their correspondence or an application.*

1. **R.C.M.P. Quarterly Report - Page 13**  
Quarterly report from the R.C.M.P. Officer In Charge for the period ending June 30, 2025.

*THAT Council receive the R.C.M.P. Quarterly report for the period April 1, 2025 – June 30, 2025 as information.*

2. **Quarterly Departmental Reports - Page 27**  
Quarterly reports from the Development Services and Corporate Services departments.  
*THAT Council receive the Quarterly Reports from Development Services and Corporate Services departments for the period April 1, 2025 – June 30, 2025 as information.*

**F. BYLAWS**

*Bylaws are required for the adoption of regulations, financial plans, changes to land use policy and to approve borrowing. A bylaw requires four separate resolutions to be adopted and must be considered over a minimum of two [2] Council meetings. Each reading enables Council to reflect on the bylaw before proceeding further.*

1. **Fees and Charges Amendment Bylaw No. 5125-1, 2025 - Page 81**  
*THAT “Fees and Charges Amendment Bylaw No. 5125-1, 2025” be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5125-1.*
2. **Development Application | OCP and Zoning Bylaw Amendments – 6123 & 6151 Russell Place - Page 97**  
Report dated July 25, 2025 from the Manager of Planning requesting Council direction on a revised development concept.  
*THAT Council direct staff to proceed with the required OCP and Zoning Bylaw amendments as per the revised development plans submitted for 6151 Russell Place, Tsawaayuus (Rainbow Gardens).*

**G. CORRESPONDENCE FOR ACTION**

*Correspondence addressed to the Mayor and Council where there is a specific request may be included on an agenda. Correspondence regarding personnel matters, legal action and/or items of a confidential nature will not be included. Correspondence addressed to Council that is administrative or operational in nature will be circulated to Council weekly and referred to the appropriate department for review and follow-up where necessary.*

1. **Alberni District Fall Fair Association | Annual Fall Fair & Parade - Page 108**  
Letter dated July 16, 2025 from the Alberni District Fall Fair Association requesting access to City streets for the Fall Fair parade.  
*THAT Council authorize the Alberni District Fall Fair Association access to City streets on Saturday, September 6, 2025 from 11:00 am to approximately 12:00 pm for the purpose of a parade from 12<sup>th</sup> Avenue along Burde Street and along 10<sup>th</sup> Avenue to Alderwood Street, subject to:*
  - *the notification of emergency services and BC Transit;*
  - *consultation with all affected businesses/residents;*
  - *provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control Personnel as required;*
  - *provision of standard liability insurance in the amount of \$5M [minimum];*
  - *review by event organizers of the [Report of the Study Commission of Inquiry into Community Events Safety](#) dated June 26, 2025.*

2. **Royal Canadian Legion Alberni Valley Branch 293 | 100<sup>th</sup> Anniversary** - Page 111  
Letter dated July 4, 2025 from the Royal Canadian Legion Alberni Valley Branch 293 requesting access to City streets for their 100<sup>th</sup> Anniversary celebration.
- THAT Council authorize the Royal Canadian Legion Alberni Valley Branch 293 access to City streets on Saturday, May 30, 2026 for the 100<sup>th</sup> Anniversary parade from 10<sup>th</sup> Avenue and Roger Street, through Gertrude Street to Burke Street, ending at the Royal Canadian Legion hall, subject to:*
- *the notification of emergency services and BC Transit;*
  - *consultation with all affected businesses/residents;*
  - *provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control Personnel as required;*
  - *provision of standard liability insurance in the amount of \$5M [minimum];*
  - *review by event organizers of the [Report of the Study Commission of Inquiry into Community Events Safety](#) dated June 26, 2025.*
3. **Alberni Valley Community Forest Corporation | Community Donation** - Page 113  
Letter dated July 17, 2025 from the Alberni Valley Community Forest Corporation requesting Council support in their selection for the 2025 community donation.
- a. *THAT Council support the recommendation from the Alberni Valley Community Forest Corporation to provide a donation to the Black Lambs Rugby organization in the amount of \$5,000 towards the purchase of equipment.*
- b. *THAT Council support the recommendation from the Alberni Valley Community Forest Corporation to provide a donation to the 8<sup>th</sup> Avenue Learning Centre and USMA Child and Family Services in the amount of \$2,500 to support the food sustainability and summer garden program.*
- c. *THAT Council support the recommendation from the Alberni Valley Community Forest Corporation to provide a donation to the PA Picklers together with the Sunshine Club in the amount of \$2,500 to support pickle ball facilities and equipment.*
4. **Uptown Merchant's Association | Grassroots Uptown Market** - Page 114  
Letter dated July 31, 2025 from the Uptown Merchants Association requesting access to City streets for the Grassroots Uptown Market.
- THAT Council authorize the Uptown Merchants Association access to City streets on Wednesday, August 27, 2025 from 3<sup>rd</sup> Avenue between Argyle Street and Mar Street from 4:00 to 9:00 p.m. for the purpose of the Grassroots Uptown Market, subject to:*
- *the notification of emergency services and BC Transit;*
  - *consultation with all affected businesses/residents;*
  - *provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control Personnel as required;*
  - *provision of standard liability insurance in the amount of \$5M [minimum];*
  - *review by event organizers of the [Report of the Study Commission of Inquiry into Community Events Safety](#) dated June 26, 2025.*

5. **Comox Valley Airport Commission** - Page 115

Letter dated July 16, 2025 from the Comox Valley Airport Commission requesting Council provide a letter of support for their submission to Canada Border Services Agency.

*THAT Council direct staff to prepare a letter of support for the Comox Valley Airport Commission for their submission to Canada Border Services Agency for a change in their Airport of Entry designation of AOE 160 to AOE 220 for winter charter operations.*

**H. PROCLAMATIONS**

1. **Port Alberni Toy Run** - Page 116

Letter received August 5, 2025 providing information regarding the Toy Run and requesting a proclamation.

*THAT Council support the Port Alberni Toy Run Association's activities taking place on September 13 & 14, 2025 subject to:*

- *the notification of emergency services and BC Transit;*
- *consultation with all affected businesses/residents;*
- *provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control Personnel as required;*
- *provision of standard liability insurance in the amount of \$5M [minimum];*
- *review by event organizers of the [Report of the Study Commission of Inquiry into Community Events Safety](#) dated June 26, 2025;*
- *receipt of Special Event Permit from the LCRB.*

*AND FURTHER, THAT Council on behalf of Port Alberni Toy Run, proclaim September 8 - 14, 2025 as 'Port Alberni Toy Run Week' in Port Alberni.*

**I. CORRESPONDENCE FOR INFORMATION**

*Correspondence found here provides information to Council. Correspondence regarding personnel matters, legal action and/or items of a confidential nature will not be included. Correspondence addressed to Council that is administrative or operational in nature will be circulated to Council weekly and referred to the appropriate department for review and follow-up where necessary.*

1. **Correspondence Summary** - Page 117

- a. Ministry of Forests | *Heritage Conservation Act* Transformation Project
- b. Josie Osborne, MLA | BC Community Housing Fund
- c. City of Langley | Police Services Funding Model
- d. Tseshah First Nation | Orange Shirt Day – National Day for Truth & Reconciliation
- e. Tseshah First Nation | Somass Hall Media Release
- f. Island Coastal Economic Trust | 2025 Impact Report



**J. REPORT FROM IN-CAMERA**

1. That Council release for public consumption Notice of its Intent to lease a portion of City owned property situated at Echo '67 Community Centre, 4255 Wallace Street to the Vancouver Island Regional Library for the operation of a public library at a rate of \$202,933.83 plus GST for 2025, and a yearly CPI increase thereafter, for a term of three (3) years.
2. That Council release for public consumption notice of its intent to extend the Railway Operation and Maintenance Agreement with the Western Vancouver Island Industrial Heritage Society for a period of 5 years to include an annual City grant of \$60,000 + CPI for the duration of the agreement for the cost of operating insurance and miscellaneous operating expenses.
3. That Council release for public consumption notice of its intent to enter into a licence of occupation agreement with the Alberni Valley Drag Racing Association for the Somass Lands for a three-day drag racing event (August 8-10, 2025) at fair market value of \$821 per day totalling \$2,465.75.
4. That Council release for public consumption notice of its intent to enter into a lease agreement with M. Driver for Unit #17 in Spirit Square at the Alberni Harbour Quay for up to a five-year term for 'West Coast Kids Re-use-it', a nature-Inspired Kids' Boutique.

**K. COUNCIL REPORTS**

1. **Council and Regional District Reports**  
*THAT the Council reports outlining recent meetings and events related to the City's business be received as information.*

**L. NEW BUSINESS**

*New items of business requiring Council direction as well as an opportunity for Council to raise issues as a result of the business of the meeting or to identify new items for subsequent meetings by way of a 'Notice of Motion'.*

1. **McLean Mill Elevator Decommissioning**  
**[Recommendation from the July 21, 2025 CoW Meeting]**  
*THAT Council direct Administration to decommission the elevator located at the McLean Mill National Historic site.*  
[July 21, 2025 Staff Report](#)
2. **Financial Planning Policy**  
**[Recommendation from the July 21, 2025 CoW Meeting]**  
*THAT Council approve 'Financial Planning Policy' No. 3002-10.*  
[July 21, 2025 Staff Report](#)

3. **Development Application | Temporary Use Permit – 5104 River Road** - Page 135

Report dated July 25, 2025 from the Manager of Planning providing for Council consideration Temporary Use Permit TUP-25-01.

*THAT Council authorize the Director of Corporate Services to sign the three (3) year Temporary Use Permit No. 25-01 to enable up to four (4) shipping containers to be used as commercial buildings on the property at 5104 River Road.*

4. **Fees and Charges Bylaw Amendment | Commercial/For-profit Rental Rates** - Page 143

Report dated July 4, 2025 from the Manager of Recreation Services requesting Council consideration of proposed amendments to the Fees and Charges bylaw.

*THAT Council direct administration to bring forward an amendment to the “Fees and Charges Bylaw No. 5125, 2025” to reflect amendments as noted in the staff report dated July 14, 2025, and outlined in Table 1 | Schedule “K” Proposed Revisions.*

5. **Parks Caretaker Residences Infrastructure Upgrades** - Page 156

Report dated July 29, 2025 from the Manager of Facilities seeking direction from Council regarding infrastructure replacements at caretaker residences.

- a. *THAT Council amend the “City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025” to allocate \$8,700 in the 2026 capital budget for the replacement of the hot water tank (\$2,200) and oil tank (\$6,500) at the Paper Mill Dam Park caretaker residence.*
- b. *THAT Council amend the “City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025” to allocate \$6,500 in the 2026 capital budget for the replacement of the oil tank at the Blair Park caretaker residence.*
- c. *THAT Council amend the “City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025” to allocate \$2,200 in the 2027, 2028 and 2029 capital budget for the replacement of hot water tanks at the caretaker residences in Klitsa Park, Williamson Park, and Russell Field.*

**M. QUESTION PERIOD**

*An opportunity for the public to ask questions of Council on decisions or recommendations made during the course of the meeting. A maximum of three [3] questions will be permitted per speaker.*

**N. ADJOURNMENT**

*That the meeting adjourn at      PM.*

**MINUTES OF THE IN-CAMERA MEETING OF COUNCIL**  
**MONDAY, July 14, 2025 @ 11:00 a.m.**  
**City Hall Committee Room | 4850 Argyle Street, Port Alberni, BC**

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**PRESENT:**

Council: Mayor S. Minions  
Councillor D. Dame  
Councillor D. Haggard  
Councillor C. Mealey @ 11:15 a.m.  
Councillor T. Patola  
Councillor C. Solda  
Councillor T. Verbrugge

Staff: M. Fox, Chief Administrative Officer  
S. Smith, Director of Development Services/Deputy CAO  
A. McGifford, Director of Finance  
S. Darling, Director of Corporate Services

The meeting was called to order at 11:00 a.m.

*MOVED and SECONDED, THAT Council conduct a special Council meeting closed to the public on the basis that one or more matters covered under Section 90 of the Community Charter will be considered, specifically outlined as follows:*

- Section 90 (1)(c)** labour relations or other employee relations;
- Section 90 (1)(e)** the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality;
- Section 90 (1)(g)** litigation or potential litigation affecting the municipality;
- Section 90 (1)(k)** negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the council, could reasonably be expected to harm the interests of the municipality if they were held in public.

***CARRIED***

The meeting adjourned at 1:26 p.m.

CERTIFIED CORRECT

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Mayor

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Corporate Officer

**MINUTES OF THE REGULAR MEETING OF COUNCIL**  
**Monday, July 14, 2025 @ 2:00 PM**  
**In the City Hall Council Chambers & Via Video-Conference**  
**4850 Argyle Street, Port Alberni, BC**

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**Present:** Mayor S. Minions  
Councillor D. Dame  
Councillor D. Haggard  
Councillor C. Mealey  
Councillor C. Solda  
Councillor T. Patola  
Councillor T. Verbrugge

**Staff:** M. Fox, Chief Administrative Officer  
S. Darling, Director of Corporate Services  
D. Aresenault, Engineering Manager  
K. Bodin, Director of Human Resources  
S. Bourgoin, Parks, Recreation & Culture Manager  
P. Deakin, Economic Development Manager  
R. Kraneveldt, Facilities Manager  
J. MacDonald, Director of Infrastructure Services  
A. McGifford, Director of Finance  
B. McLoughlin, Planning Manager  
K. Motiuk, Deputy Director of Corporate Services [Recording Secretary]  
J. Pelech, Information Services Manager  
S. Perry, Manager of Culture  
W. Michalicz, Manager of Parks

Gallery: 6

**A. CALL TO ORDER & APPROVAL OF THE AGENDA**

The meeting was called to order at 2:00 PM.

*MOVED AND SECONDED, THAT the agenda be adopted, as circulated.*

**CARRIED**

**B. ADOPTION OF MINUTES**

*MOVED AND SECONDED, THAT the Minutes of the Special and Regular meetings of Council on June 23, 2025 be adopted, as presented.*

**CARRIED**

**C. DELEGATIONS**

**1. IGV Housing Limited**

CEO, J. Hunt, introduced the IGV Housing manufacturing facility in Port Alberni.

**D. UNFINISHED BUSINESS**

**E. STAFF REPORTS**

**1. Quarterly Departmental Reports**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Economic Development department for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-307**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Finance department for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-308**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Human Resources department for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-309**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Infrastructure Services department for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-310**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Parks manager for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-311**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Recreation manager for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-312**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the Facilities manager for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-313**

*MOVED AND SECONDED, THAT Council receive the Q2 Quarterly Report from the manager of Culture for the period April 1, 2025 – June 30, 2025 as information.*

**CARRIED | Res. No. 25-314**

**2. 2<sup>nd</sup> Quarter - 2025 Procurement Summary**

*MOVED AND SECONDED, THAT Council receive the report '2nd Quarter - 2025 Procurement Summary' dated July 4, 2025 as information.*

**CARRIED | Res. No. 25-315**

**F. BYLAWS**

**1. Utility Bylaw Amendments**

*MOVED AND SECONDED, THAT "Waterworks Bylaw No. 5131, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5131.*

**CARRIED | Res. No. 25-316**

*MOVED AND SECONDED, THAT "Sewer Connection and Regulation Bylaw No. 5132, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5132.*

**CARRIED | Res. No. 25-317**

*MOVED AND SECONDED, THAT "Solid Waste Collection and Disposal Bylaw No. 5120-1, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5120-1.*

**CARRIED | Res. No. 25-318**

**2. Reserve Fund Establishment Bylaw No. 5086-2, 2025**

*MOVED AND SECONDED, THAT "Reserve Fund Establishment Bylaw No. 5086-2, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5086-2.*

**CARRIED | Res. No. 25-319**

**3. Fees and Charges Bylaw Amendments**

*MOVED AND SECONDED, THAT Council direct Administration to amend "Fees & Charges Bylaw No. 5125, 2025" to include a clause stating that applicable fees and charges are either those set out in the Fees and Charges Bylaw or as set out in the terms and conditions of contracts with third parties.*

**CARRIED | Res. No. 25-320**

*MOVED AND SECONDED, THAT Council direct Administration to investigate the inclusion of commercial/for-profit rental rates for City recreational properties in the Fees & Charges Bylaw.*

**CARRIED | Res. No. 25-321**

**4. Fees and Charges Amendment Bylaw No. 5125-1, 2025**

*MOVED AND SECONDED, THAT third reading of "Fees and Charges Amendment Bylaw No. 5125-1, 2025" be rescinded.*

**CARRIED | Res. No. 25-322**

*MOVED AND SECONDED, THAT "Fees and Charges Amendment Bylaw No. 5125-1, 2025" be read a third time, as amended.*

**CARRIED | Res. No. 25-323**

**5. 2025-2029 Financial Plan Amendment Bylaw No. 5123-1, 2025**

*MOVED AND SECONDED, THAT "City of Port Alberni 2025-2029 Financial Plan Amendment Bylaw No. 5123-1, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5123-1.*

**CARRIED | Res. No. 25-324**

**6. OCP and Zoning Bylaw Amendments at 3830 5<sup>th</sup> Avenue**

*MOVED AND SECONDED, THAT "Official Community Plan Amendment (3830 5<sup>th</sup> Avenue) Bylaw No. 5094" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5094.*

**CARRIED | Res. No. 25-325**

*MOVED AND SECONDED, THAT "Zoning Bylaw Amendment (3830 5th Avenue) Bylaw No. 5113" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5113.*

**CARRIED | Res. No. 25-326**

*MOVED AND SECONDED, THAT the minutes of the Public Hearing on September 9, 2024 regarding Official Community Plan Amendment Bylaw No. 5094 and Zoning Amendment Bylaw No. 5113, be adopted as presented.*

**CARRIED | Res. No. 25-327**

**G. CORRESPONDENCE FOR ACTION**

**1. Port Alberni International Twinning Society**

*MOVED AND SECONDED, THAT Council receive the letter from the Port Alberni International Twinning Society as information.*

**CARRIED | Res. No. 25-328**

**H. PROCLAMATIONS**

**1. Island Kids Cancer Association**

*MOVED AND SECONDED, THAT Council on behalf of Island Kids Cancer Association proclaim the month of September 2025 as 'Childhood Cancer Awareness Month' in Port Alberni.*

**CARRIED | Res. No. 25-329**

**I. CORRESPONDENCE FOR INFORMATION**

The Director of Corporate Services summarized correspondence to Council as follows:

- a. Village of Chase | Copy of letter to Minister of Education and Child Care re: Resolution for Funding for Public Education
- b. ACRD | Funding Awarded to the Emergency Operations Centre to Improve Capacity in the ACRD
- c. PRIMECorp | User Service Fee Update
- d. Minister of Health | Farmers' Market Nutrition Coupon Program
- e. City of Port Moody | UBCM Resolution
- f. Audit Committee Meeting | February 25, 2025 Minutes

*MOVED AND SECONDED, THAT Council receive the Council Correspondence Summary as information.*

**CARRIED | Res. No. 25-330**

**J. REPORT FROM IN-CAMERA**

**K. COUNCIL REPORTS**

**1. Council and Regional District Reports**

Council received the reports outlining recent meetings and events related to the City's business as information.



**L. NEW BUSINESS**

**1. Transportation Master Plan Public Engagement Results**

*MOVED AND SECONDED, THAT Council receive the Transportation Master Plan Public Engagement Results report dated June 18, 2025, as information.*

**CARRIED | Res. No. 25-331**

**2. Audit Committee Terms of Reference**

*MOVED AND SECONDED, THAT Council direct Administration to conduct a review of the Audit Committee Terms of Reference.*

**CARRIED | Res. No. 25-332**

**M. QUESTION PERIOD**

**Eric M.**

Inquired about City action related to parking in bicycle lanes following construction improvements on Burde St.

**N. ADJOURNMENT**

*MOVED AND SECONDED, THAT the meeting adjourn at 4:23 P.M.*

**CARRIED**

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Mayor

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Corporate Officer

April to June 2025

# 2nd Quarter Policing Report



Port Alberni RCMP





Royal Canadian Mounted Police  
Gendarmerie Royale du Canada

## REGULAR COUNCIL AGENDA - AUGUST 11, 2025

Canada



# Second Quarter 2025

- **Operations**
  - **Proactive Enforcement**
- **Operations by Area**
- **Crime Rate**
- **Forensic Identification Section**
- **Crown Submissions / Sentencing**



# Operations

Port Alberni RCMP – Calls for Service by Year (all areas)		
2021	13639	% Change
2022	13356	-2.11
2023	13982	+4.48
2024	13281	-5.21
2025	Pace = (approx. 13790)	

Port Alberni – Calls for Service by Quarter (all areas)				
2024	Q1	Q2	Q3	Q4
	2863	3386 (+18.27%)	3801 (+12.26%)	3231 (-15%)
2025	Q1	Q2	Q3	Q4
	2965	3543	(3936)	(3346)
% Difference	+3.45%	+20.30%		



# Curfew Checks

Port Alberni – Curfew Checks (all areas)					
2024	Q1	Q2	Q3	Q4	Totals
	310	154	104	418	986
2025	Q1	Q2	Q3	Q4	
	453	307			



# Traffic Enforcement

Port Alberni – Traffic Enforcement (all areas)					
2024	Q1	Q2	Q3	Q4	Totals
	322	206	205	232	965
2025	Q1	Q2	Q3	Q4	
	181	259			

COLLISIONS	Municipal	Rural
Fatalities		
Injury MVIs	15	9
Property Damage Over \$10,000 & Hit and Run	8	4
Property Damage Under \$10,000 & Hit and Run	25	11





# City of Port Alberni

*** 2025 First Quarter Statistics				Total calls - second quarter in 2024 = 2790		
				Total calls – second quarter in 2025 = 2817		
Activity Type	April 2024	April 2025	May 2024	May 2025	June 2024	June 2025
Total Files	914	812	888	955	988	1050
Robbery	1	1	1	0	1	1
Assault	32	26	31	35	38	45
Domestic violence	35	36	38	39	43	35
Sex Offences	4	11	6	10	10	12
B&E Residential	4	2	1	3	7	5
B&E Commercial	4	6	6	7	5	4
Theft of Vehicle	9	3	3	7	6	7
Theft from Vehicle	8	5	10	2	11	10
Theft Over \$5K	-	5	2	2	-	1
Theft Under \$5K	39	30	27	42	36	52
Shoplifting	9	11	8	16	9	19
Drug Offences	2	4	10	3	4	9
Liquor Offences	17	17	20	17	26	21
Impaired Driving CC	6	5	9	9	7	11
IRP – 3,7, 30, 90	4	5	5	14	5	7
Mental Health	62 (13)	66 (16)	62 (15)	67 (15)	54 (13)	68 (19)



# Alberni-Clayoquot Regional District (ACRD)

*** 2025 First Quarter Statistics				Total calls - second quarter in 2024 = 386		
				Total calls – second quarter in 2025 = 489		
Activity Type	April 2024	April 2025	May 2024	May 2025	June 2024	June 2025
Total Files	126	160	138	158	122	171
Robbery	-	-	-	-	-	-
Assault	3	5	4	4	3	8
Domestic violence	2	4	9	1	7	4
Sex Offences	1	2	-	1	-	-
B&E Residential	-	-	-	-	1	1
B&E Commercial	-	-	-	-	-	-
Theft of Vehicle	2	-	2	3	-	3
Theft from Vehicle	1	-	1	1	1	-
Theft Over \$5K	1	-	-	-	-	1
Theft Under \$5K	5	4	1	-	3	5
Shoplifting		-	-	-	-	-
Drug Offences	1	-	-	1	-	-
Liquor Offences	-	1	2	-	1	-
Impaired Driving CC	1	3	2	-	2	5
IRP – 3,7, 30, 90	-	1	1	1	2	3



# First Nations Communities: *Tseshaht, Hupacasath, Huu-ay-aht, Uchucklesaht*

*** 2025 First Quarter Statistics				Total calls - second quarter in 2024 = 70		
				Total calls – second quarter in 2025 = 76		
Activity Type	April 2024	April 2025	May 2024	May 2025	June 2024	June 2025
Total Files	25	25	23	25	22	26
Robbery	-	-	-	-	-	-
Assault	-	3	2	1	4	2
Domestic violence	2	1	2	3	6	2
Sex Offences	-	-	1	-	1	-
B&E Residential	-	-	-	-	-	-
B&E Commercial	-	-	-	-	-	-
Theft of Vehicle	-	-	-	-	-	-
Theft from Vehicle	-	-	-	-	-	-
Theft Over \$5K	-	-	-	-	-	-
Theft Under \$5K	-	-	-	-	-	-
Shoplifting	-	-	-	-	-	-
Drug Offences	-	-	-	-	-	-
Liquor Offences	-	-	-	-	-	-
Impaired Driving CC	-	-	-	-	-	-
IRP – 3,7, 30, 90	-	-	-	-	-	-



# Port Alberni Crime Rate

10 Year Crime Rate (# of Criminal Code Offences per 1000 Persons)										
	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
City of Port Alberni	110.4	117.3	124.4	114.0	140.2	172.6	165.2	161.2	169.9	179
Rural Area	29.4	37.2	43.2	37.6	42.8	49.4	45.2	50.3	54.0	47

The **2023 average provincial** crime rate was **65** reported crimes per 1,000 population and the **average crime rate for BC Municipal RCMP policing jurisdictions** over 15,000 population was **85** reported crimes per 1,000 population. **Port Alberni City's crime rate was 179 and the Provincial area's crime rate was 47.**

**Statscan Crime Severity Data for 2024 shows a notable decrease for Port Alberni at -20.03. This is comparable with several other nearby/ adjoining municipal police service areas for 2024. For example:**

- Ladysmith -24.96
- Comox – 19.33
- Parksville – 17.89
- Nanaimo – 16.04



# Forensic Identification Section - 2025

Crime Type	Port Alberni (Muni)	Port Alberni (Prov)	Oceanside (Muni)	Oceanside (Prov)	Tofino/Ucluelet	Qualicum Beach (Muni)
Arson	2	1	-	-	-	-
Assault	-	-	1	-	-	-
Aggravated Assault	-	-	-	-	-	-
Break and Enter	2	-	6	-	-	1
Coroners Act	1	1	1	-	-	-
Counterfeit	-	-	-	-	-	-
Drug Cases	3	-	-	-	-	-
Firearms Offences	-	-	-	-	-	2
Fraud Offences	-	-	-	-	-	-
Have Stolen Goods	-	-	-	-	-	-
Home Invasion	-	-	-	-	-	-
Homicide	1	-	-	-	-	-
Homicide (Attempted)	-	-	-	-	-	-
Impaired	-	-	-	-	-	-
Kidnapping	-	-	-	-	-	-
Mischief	2	-	1	1	-	-
Other Crime	-	-	-	-	-	-
Robbery	-	-	-	-	-	-
Sex Crimes	-	-	-	-	-	-
Sexual Assault	-	-	-	-	-	-
Stolen Auto	1	1	3	1	-	-
Theft From MV	1	-	-	-	-	-
Theft Over	1	1	-	-	-	-
Theft Under	1	-	-	-	-	-



# Port Alberni FIS – Stat Totals

Period	Port Alberni (Muni)	Port Alberni (Prov)	Oceanside (Muni)	Oceanside (Prov)	Tofino/Ucluelet	Qualicum Beach (Muni)
<b>2024 Total</b>	96	14	24	15	7	3
<b>Q1</b>	27	5	5	5	2	1
<b>Q2</b>	28	3	4	4	2	0
<b>Q3</b>	21	4	6	2	3	0
<b>Q4</b>	20	2	9	4	0	2
<b>2025 Total</b>	<b>31</b>	<b>8</b>	21	8	2	4
<b>Q1</b>	16	4	9	6	2	1
<b>Q2</b>	15	4	12	2	0	3



# Crown Submissions / Sentencing

Port Alberni (Municipal & Provincial)		
Q2	2024	2025
April	59	65
May	70	71
June	77	78
Total for quarter	206	214
Year to Date	426	493

## Jail sentencing for Port Alberni (2024-2025):

- 86 years & 10 months - includes all sentences 30+ days;
- 70 years if only counting sentences 6 months and over.

**Note: period captured is April 1, 2024 to March 31, 2025 and does not yet factor this second quarter**





Thank-you  
for your continued support.



Port Alberni RCMP



## DEVELOPMENT SERVICE DEPARTMENT

### PURPOSE

To provide Council with an overview of departmental operations of Development Services Department for the quarter ending June 30, 2025.

### OVERVIEW

#### 2042 Official Community Plan

The following work was completed in Q2 for the 2042 OCP project:

1. Internal staff workshop to review and revise draft OCP policy.
2. Connected with PRMP and TMP Master Plan consultants on draft OCP policy to help coordinate projects.
3. Proceeded with next stages of growth strategy planning in Q1 2025.
  - Complete Communities Assessment (CCA) was finalized in December 2024, which informed the OCP growth strategy by assessing the potential for each neighbourhood to accommodate more housing and services.
  - Created a draft OCP Land Use Map based on conceptual growth strategy supported by Council.
  - Conducted analysis of land use in the context of estimated 20-year housing need from Interim Housing Needs Report.
4. Completed mapping and analysis of core neighbourhoods to support draft land use framework.
  - Completed study of prominent view corridors and how these may or may not be impacted by future land use (includes mapping).
  - Mapped street character and use-at-grade in core neighbourhoods.
  - Mapped building storeys in core neighbourhoods.
5. Drafted design guidelines for development in environmentally sensitive areas, and hazard areas to reduce risk of flooding, unstable slopes, and wildfire. Also drafted form and character guidelines for commercial, industrial, and multi-residential development, and started work on explanatory illustrations for these guidelines.

The City continued working on policy development to address the key topics and integrate community ideas where appropriate for a draft OCP document. Further engagement with Council, 1<sup>st</sup> Nations and the community will occur through the OCP process, with a required formal Public Hearing.

#### Permits, Subdivisions, and Land Use Applications

The following permits and development approvals were completed in Q2:

1. The City has issued 54 Building Permits with a construction value of over \$9 million, including 5 new residential units through Q2.



- Average processing time for Standard Building Permits and for Complex Building Permits is currently 8 to 10 weeks.
- 2. Approval of Development Permit 24-04: 4690 Elizabeth Street – conversion of residential dwelling to a medical clinic.
- 3. Approval of Development Permit 25-03: 2856 4<sup>th</sup> Avenue – 4-unit townhouse project.
- 4. Approval of Development Variance Permit 125: 4691 Gertrude Street – fence height.
- 5. Approval of minor Development Variance Permit 126: Haslam Road – side yard setback.
- 6. The Approving Officer has issued 6 Preliminary Layout Review letters and gave final approval to three subdivisions through Q2.
- 7. Public Hearing for 6123 & 6151 Russel Place (Rainbow Gardens), and Report to Council for 3<sup>rd</sup> Reading.

### New Development Applications

Staff completed preliminary review and intake on the following new development applications in Q2:

- Five (5) **Rezoning** applications for a total of six (6) in 2025 to date.
- Four (4) **Subdivision** applications for a total of ten (10) in 2025 to date.
- Three (3) **Development Permit** applications for a total of four (4) in 2025 to date.
- Three (3) **Temporary Use Permits** for a total of three (3) in 2025 to date.
- Two (2) **Official Community Plan amendments** applications for a total of two (2) in 2025 to date.
- One (1) **Development Variance Permit** applications for a total of two (2) in 2025 to date.

### Business Licensing

Forty-nine (49) business licenses were approved and issued in Q2, including:

- Three (3) short-term rentals/bed and breakfasts.
- Six (6) special event licenses.
- Seven (7) intercommunity licenses

## COMMUNICATIONS

In accordance with the *Local Government Act*, staff issued notices for the following Public Hearing:

- May 12, 2025 – Application ZON24-01: For properties at 6123 and 6151 Russell Place (Rainbow Gardens).

## LINKAGE TO CORPORATE STRATEGIC PLAN

The Development Services Department work supports many of the Goals in the 2020-2024 Corporate Strategic Plan including:

- 1.4 The City adapts in response to ongoing demographic change and community development.
- 2.3 The Community has a strategy that effectively encourages investment and sustainable growth.
- 2.5 The City takes an active and innovative role in the redevelopment of brownfield sites.



5.1 The community is aesthetically appealing and there are locally authentic public spaces. Citizens are proud of their community.

5.2 Safe and accessible housing options exist for all members of the community.

## BUDGET OVERVIEW

The Development Services department operational and consulting expenses are under budget as of the end of Q2, primarily due to staff vacancies.

## SUMMARY

This report provides a brief overview of the larger policy and project work by the Development Services Department. The department also administers all business licence, development applications, building permits, property searches, public enquiries and many other related development services functions on an ongoing basis.

## LOOKING FORWARD

City staff plan to have a draft Official Community Plan document prepared in the Q3 and public engagement in Q4.

## ATTACHMENTS

1. *Active Development Applications – End of Q2 2025*



## ACTIVE DEVELOPMENT APPLICATIONS – END OF Q2 2025

Information current to June 30, 2025. Application status may have changed as of the date of this report.

File Number	Address	Stage/Next step	Description
<b>ZON21-14</b> <b>OCP21-09</b>	3830 5 <sup>TH</sup> Ave.	Final Adoption Report	New multi-residential development.
<b>ZON22-05</b>	15 <sup>th</sup> Ave. & Montrose St.	1 <sup>st</sup> Reading Report	New residential development.
<b>ZON23-05</b>	3053, 3063 1 <sup>st</sup> Ave.	1 <sup>st</sup> Reading Report	New apartment building.
<b>ZON24-01</b>	6123 Russell Pl.	Council Report	New affordable apartment building for seniors.
<b>ZON24-02</b>	3940 & 3960 Johnston Rd.	Awaiting documents.	New commercial plaza.
<b>ZON24-03</b>	5036 Argyle St.	1 <sup>st</sup> Reading Report	Text amendment to allow ground-floor multi-residential units.
<b>ZON25-01</b>	3037 2 <sup>nd</sup> Ave.	Review	New supportive housing apartment building.
<b>TUP24-01</b>	3868 Wood Ave.	Review	Mobile homes/recreational vehicles.
<b>TUP25-01</b>	5104 River Rd.	Approval Report	Clutesi Haven Marina shipping container market.
<b>TUP25-02</b>	3723 Redford Rd.	Review	Mobile homes/recreational vehicles.
<b>TUP25-03</b>	3130 3 <sup>rd</sup> Ave.	Review	Transitional housing and extreme weather shelter (Bread of Life).
<b>DP25-01</b>	2972 & 2976 3 <sup>rd</sup> Ave	Review	Mixed-use building with apartments above commercial.
<b>DP25-02</b> <b>DVP 127</b>	3033 3 <sup>rd</sup> Ave.	Review	New apartment building.
<b>ZON25-02</b> <b>OCP25-01</b>	2907 2 <sup>nd</sup> Ave	Review	Change of use from commercial to residential.
<b>ZON25-03</b>	5405 Argyle St.	Review	Change of use for commercial expansion.
<b>DP25-04</b>	5224 Argyle St.	Review	New commercial building.
<b>ZON25-04</b>	Lot 17 & 18 Brown Rd.	Review	New residential dwellings.
<b>ZON25-05</b> <b>OCP25-02</b>	Lot 2, District Lot 1, Alberni District, Plan VIP55507	Document submission/Review	New multi-residential development (former APD lands)
<b>ZON25-06</b>	3585 Huff Drive	Review	Change of use from institutional to residential.



## CORPORATE SERVICES

### PURPOSE

To provide Council with an overview of departmental operations for the quarter ending June 30, 2025.

### OVERVIEW

Corporate Services is responsible for:

- Legislative Services
- Communications
- Public Engagement Support
- Access to Records and Information
- Community Safety & Social Development - Bylaw, Community Policing, and Social Development
- Elections

#### Administration

During this quarter, Corporate Services facilitated the preparation of six Regular meetings of the Council, three Committee of the Whole meetings, four Committee meetings, and one Public Hearing.

The 2025 Summary of Council Resolutions documents 149 directives issued by the Council between April 1 and June 30. This contributes to a total of 332 resolutions for 2025, with 21 resolutions currently in progress or outstanding. Additionally, there are 11 unresolved resolutions from the years 2022 to 2024. Staff has provided comments in the status column, detailing new completion dates and actionable steps for outstanding directives.

#### Key Activities

- Adoption of seven new bylaws.
- Approval of two new administrative policies (attached).
- Execution of 18 agreements.

In the second quarter of 2025, Corporate Services has continued to support all departments in delivering Council reports. A significant focus remains on updating bylaws and policies. Furthermore, we have executed a considerable number of agreements while actively working to resolve those currently in holdover status.

We recognize the ongoing need to enhance our records management processes to improve overall organizational efficiency.

### LINKAGE TO CORPORATE STRATEGIC PLAN

Looking ahead, legislative services will continue to strive for excellence in all aspects of municipal management and governance. We remain committed to improving processes and ensuring transparency



through the establishment and renewal of bylaws and policies, as well as the continued updating of the [Now, Next, Later Action Plan](#).

This plan, developed in alignment with Council's [2023-2027 Corporate Strategic Plan](#), serves as a strategic roadmap for the City of Port Alberni's projects and initiatives.

## BUDGET OVERVIEW

For Q2, Corporate services is on track.

CAO & CORPORATE SERVICES					
2025-2029 Financial Plan - 2025 YTD - Quarter 2					
ACCOUNT	DESCRIPTION	2025 BUDGET	2025 ACTUAL	YTD VARIANCE (\$)	YTD VARIANCE (%)
Revenues					
	<i>Total Revenues</i>	-	-	-	
ACCOUNT	DESCRIPTION	2025 BUDGET	2025 ACTUAL	YTD VARIANCE (\$)	YTD VARIANCE (%)
Expenditures					
21211 & 21212	Advertising	5,517	3,690	1,827	33.12%
21211 & 21212	Contract Services	60,300	-	60,300	100.00%
21215	Legal Fees	25,000	32,458	(7,458)	-29.83%
21211 & 21212	Memberships & Subscriptions	1,572	-	1,572	100.00%
21211 & 21212	Mileage	412	-	412	100.00%
21211 & 21212	Software licencing	23,678	12,736	10,942	46.21%
21211 & 21212	Supplies	1,225	996	229	18.69%
21212 & 21212	Wages & Benefits	1,049,090	495,427	553,663	52.78%
	<i>Total Expenditures</i>	<b>1,166,794</b>	<b>545,307</b>	<b>621,487</b>	<b>53.26%</b>

As we advance further into 2025, we anticipate fully utilizing our projected total budget. With all positions filled, our department is fully staffed and well-prepared to meet our service commitments and address any emerging priorities.

## SUMMARY

The second quarter of 2025 saw Corporate Services actively engaged in key legislative and policy initiatives. A notable focus remained on updating bylaws and policies while working to resolve agreements currently in holdover status. The Communications Department focused on transparent and accessible information through various campaigns and platforms as well as promoting municipal initiatives and events. The Community Safety & Social Development Department focused on converging and ongoing issues such as unaffordable housing, homelessness, mental health and substance use and social disorder.





## LOOKING FORWARD

Corporate Services will continue to refine legislative processes and enhance governance through the ongoing establishment and renewal of bylaws and policies. A priority will be given to supporting Council with legislative and strategic planning to ensure that all resolutions and directives are addressed effectively. Election preparations for the general local election taking place October 2026, are officially starting in the fall.

Communications remains focused on supporting transparency, strengthening community connection and delivering information in a way that is accessible, timely and responsive to residents' needs. As the City continues to implement its strategic priorities, communications will play a critical role in telling our story, celebrating progress, and inviting people into the process of shaping Port Alberni's future.

Community Safety & Social Development will remain committed to their goals, with significant efforts toward community safety, transparency, community engagement, and social inclusion.

## ATTACHMENTS

- *Council Resolution Tracker 2025*
- *Council Resolution Tracker | Outstanding 2022-2024*
- *Policy No. 3002-8 | Volunteer Policy*
- *Policy No. 3002-9 | Municipal Alcohol Policy*
- *Alberni Valley Continuum of Care Coalition – Asset Map of Services (July 2024-2025)*



## COMMUNICATIONS

Communications continues to lead the delivery of timely, transparent and accessible information that supports public engagement and enhances trust in local government. Between April 1 and June 30, 2025, the department supported major corporate priorities, informed residents on emerging issues, and helped tell the story of Port Alberni's progress.

### Print and Promotional Campaigns

- City Connect Ads: Five bi-weekly ads were published in the *Alberni Valley News*, highlighting responsible yard waste disposal, the BroomBusters program, and reminders regarding the property tax deadline.
- City Connect Newsletter: Delivered to more than 7,000 households and businesses, the Spring 2025 newsletter featured updates on the City's master planning efforts and promoted e-billing sign-up through the MyCity platform.
- MyCity E-Billing – Register & Win: In partnership with the Finance Department, the year-long e-billing incentive campaign continued to gain momentum. From January 1 to June 30, 2025, 252 new users registered, resulting in approximately \$1,950 in administrative cost savings.

### Media Relations and Public Information

The department issued eight official news releases and public statements, including:

- Ratification of the collective agreement
- Signing of the Somass Lands agreements
- Temporary closure and reopening of the Alberni Valley Multiplex following a chiller failure
- Pedestrian safety upgrades at 10th Avenue and Dunbar Street
- Launch of Celebrate PA!
- Publication and adoption of the 2024 Annual Report
- Promotion of the Transportation Master Planning process and associated survey

To complement these announcements, Administration and Mayor and Council participated in multiple radio, print and television interviews focused on strategic priorities such as waterfront redevelopment, Johnston Road upgrades, softwood lumber duties and economic development opportunities.

The City also partnered with *The Scoop* to produce several short videos that highlighted civic initiatives and events, including the unveiling of the Roger Creek Park zip track and the Summer Kick-Off celebration.

### Digital Engagement and Social Media

Social media remains a key pillar of the City's communications strategy. From April to June:

- 108 Facebook posts were published, featuring updates on playground installations, park closures, tree planting, public consultations and community events.
- Facebook reach totaled 93,100, with more than 770,000 views and 8,500 content interactions.
- The City welcomed 224 new followers, bringing the total to 6,619.
- Popular Facebook event promotions included the PA Kids Triathlon, Pride Disco Roller skating, Meet Your Community in coordination with the Welcome Wagon, Celebrate PA! and more.



The department continues to evaluate the role of the X platform (formerly Twitter) in municipal communication, with a recommendation report planned for Q3/Q4.

### Community Engagement

The City's Let's Connect PA platform remained a key engagement tool:

- Nine active project pages attracted over 3,500 visits this quarter, averaging 40 visits per day.
- 117 public contributions were received across all project pages.
- A new page was launched for the Stormwater & CSO Master Plan, outlining key steps in the planning process and inviting community input.
- A targeted e-newsletter announcing the Somass Lands agreement(s) saw a 97.1% open rate, demonstrating strong resident interest and trust in the platform.

### Civic Recognition and Community Moments

In addition to major campaigns, the Communications Department supported several moments of local recognition and civic pride:

- The ribbon cutting at Roger Creek Park celebrated the life and legacy of a former Alberni Valley Lions Club member and marked the opening of the new zip track.
- The Alberni District Secondary School crosswalk painting event, led by the Social Justice class, honoured Residential School Survivors and underscored the community's commitment to reconciliation.
- Community-wide celebrations were held on National Indigenous Peoples Day, both in-person and online.
- The 2024 Annual Report was published and adopted by Council, offering a clear picture of the City's progress over the past year.
- The Transportation Master Plan engagement process was launched, supported by a call to action encouraging continued public participation through the online survey and 'Pin Your Ideas' Let's Connect PA tool.



## COMMUNITY SAFETY AND SOCIAL DEVELOPMENT

Community Safety & Social Development (CSSD) works on converging and ongoing issues such as unaffordable housing, homelessness, mental health and substance use and social disorder. The priority is to address safety and social issues, promote inclusivity, and implement programs and policies that contribute to the community's overall social progress.

### Bylaw Services

Enforcement for Q2 was primarily focused at level one, as per Council's direction on the priorities:

- Priority 1: Violations affecting public health and safety- identified by a valid complaint and/or proactive enforcement.
- Priority 2: Proactive enforcement of bylaws identified as Council priorities within this policy.
- Priority 3: Level ii and iii Valid Complaints as staff resources allow.

### Key Activities in Q2:

- Participated in three (3) Nuisance Abatement Working Group meetings, resulting in three Bylaw Violation Notices for nuisance properties.
- Managed twenty-one (21) encampments through working with outreach teams and the RCMP.
- Managed sixty-two (62) property maintenance files.
- Managed eighty-eight (88) traffic violation files, some of which could only be resolved through impounding the vehicles/trailers.

Bylaw Department	Q2 2024	Q2 2025	Q1 and Q2 totals 2025
# of Complaint Calls Received	250	251	407
Active/Open Files	74	77	124
Completed Files	176	174	274
# of Tickets Issued	187	204	297
Fine amounts:	\$40,014.50	\$28,813.00	\$37,399.00
Outstanding fines:	\$35,416.00	\$21,699.00	\$29,048.50
Dog Licenses issued	27	51	577
PSB - Public Restroom usage		184	322
PSB - Meeting Room usage		45	110



## Community Policing

The Community Policing program reports directly to the Manager of Community Safety & Social Development.

### Key Activities in Q2:

- Community Policing has twenty (20) active volunteers.
- CP volunteers contributed 907 hours in Q2.

The following Community Policing activities occurred in Q2:

<b>Community Events/Meetings</b>	Volunteers participated a training session with the RCMP E Division, and the Canadian Tire Jump Start Day.
<b>Crime Watch</b>	Conducted 28 patrols of 2-3 teams (4-6 volunteers) in the community.
<b>Distracted Driving</b>	Tracked 27,642 vehicles for distracted driving and noted 56 drivers using a cell phone while driving.
<b>Speed Watch</b>	Tracked 7963 vehicles, including school zones, and reported 575 drivers to the RCMP to issue warning letters to registered owners.

## Social Development

Social Development was created to focus on an administrative role of convening, facilitating, and coordinating community social services.

### Key activities for Q2 2025:

Collaborate and engage with community partners through:

- Convened the Community of Care Coalition quarterly meeting on May 28, 2025.
- Facilitated the coordination and distribution of the Community Mapping project (Appendix A).
- Participated at two (2) Port Alberni Community Action Team monthly meetings.

Promote health & well-being through:

- Facilitated thirteen (13) Situation Table (ST) meetings, resulting in six (6) with two risk levels reduced as a result of offers of service.

Social inclusion/housing & homelessness through:

- Facilitated the BCEHS Community Paramedic to partner with the Island Health MHSU team on a bi-weekly basis as a pilot project on joint outreach services.
- Coordinated the Outreach Team resource listing of services for distribution to the Coalition.

Monitor and evaluate through:

- Met the following key performance indicators (KPI) for the short, medium, and long-term action items to measure the success and effectiveness of the Continuum of Care Coalition table.



<b>SHORT-TERM</b>	
Launch the Continuum of Care Coalition table	Complete
Conduct an agency tour – treasure hunt with a passport and stamps	Complete
Formalize networking – to learn about who does what?	Complete
<b>MEDIUM-TERM</b>	
Develop a visual map for the Continuum of Care - Services	Complete
Update BC211 quarterly	Agencies to complete
Develop an engagement strategy to include peers in work, apply for funding to have standardized peer training and support	Ongoing
<b>MEDIUM -LONG TERM</b>	
Advocate for integrated case management between services	Ongoing
Advocate for multi-year funding not annual grants	Ongoing
<b>LONG-TERM</b>	
Create system navigators/navigation	
Work together on funding opportunities	
Create a co-op for administration (i.e. grants) with a common person doing the administration, grant research, and grant writing	

**CSSD Budget:**

- The Bylaw Enforcement annual budget (021216) for 2025 is \$515,603 with Q2 expenditures at \$531,624, which includes additional contract services that will be transferred to property taxes.
- The Bylaw Enforcement Vehicles annual budget (021217) is \$23,331 with Q2 expenditures at \$4,148.
- The Public Safety Building annual budget (021218) is \$49,710 with Q2 expenditures at \$18,408.
- The Community Policing (022130) annual budget for 2025 is \$169,263 with Q2 expenditures at \$79,941.



**City of Port Alberni**  
**2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
RCM January 13, 2025					
25-01	THAT Council receive the Quarterly Reports from the Fire Department for the period of October 1, 2024 to December 31, 2024 as information.	n/a	n/a	n/a	n/a
25-02	THAT Council receive the Quarterly Reports from the Infrastructure Services Department for the period of October 1, 2024 – December 31, 2024 as information.	n/a	n/a	n/a	n/a
25-03	THAT Council authorize Ridge View Health & Performance access to McLean Mill National Historic Site on Sunday, April 6, 2025 from 8:00 am to 5:00 pm for the purpose of a 10K running event starting at the McLean Mill and following the route as outlined in the attached map subject to: <ul style="list-style-type: none"> <li>the notification of emergency services and BC Transit;</li> <li>consultation with all affected businesses/residents;</li> <li>provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control personnel as required; and</li> <li>provision of standard liability insurance in the amount of \$5M.</li> </ul>	Corp Serv/Eng/PW	Corporate Services to prepare letter and distribute	14-Jan-25	Complete
25-04	THAT Council authorize Wounded Warrior Run BC access to City streets on Thursday, February 27, 2025 for the purpose of a Wounded Warrior Run from Hwy 4 [Johnston Rd.] to Gertrude St. to Roger St. to Victoria Quay, ending at the Port Alberni Legion Branch #293 subject to: <ul style="list-style-type: none"> <li>the notification of emergency services and BC Transit;</li> <li>consultation with all affected businesses/residents;</li> <li>provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control personnel as required; and</li> <li>provision of standard liability insurance in the amount of \$5M.</li> </ul>	Corp Serv/Eng/PW	Corporate Services to prepare letter and distribute	14-Jan-25	Complete
25-05	THAT Council receive the correspondence from AVICC regarding the 2025 AGM and Convention call for Resolutions as information.	n/a	n/a		
25-06	THAT Council on behalf of the BC Epilepsy Society proclaim March 26, 2025 as 'International Purple Day®' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	14-Jan-25	Complete
25-07	THAT Council direct Administration to draft a letter to the Honourable Gord Johns, M.P. in support of waste forestry biomass conversion.	Corp Serv	Corporate Services to prepare letter and distribute	14-Jan-25	Complete
25-08	THAT Council receive the Council Correspondence Summary as information.	n/a	n/a	n/a	n/a
25-09	THAT The Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-10	THAT Council direct Administration to reduce the Medical First Responder level of service to only respond to calls coded 'Red' or 'Purple', or where British Columbia Emergency Health Services (BCEHS) requires assistance with rescue, access or lifting a patient.	Fire Dept	Chief Owens to advise relevant agencies	14-Jan-25	Complete
25-11	THAT Council direct Administration to add \$54,600 in 2025 from taxation to the \$65,000 allocated from ERFF to purchase one set of PFAS-free Turnout Gear for each PAFD employee.	Fire Dept/Finance	Finance to allocate in FP	14-Jan-25	Complete
25-12	THAT Council amend the motion to remove the addition of \$350,000 for the replacement of the 2006 Ford F550 Rescue Truck #8 in the 2025 Capital Project plan.	n/a	n/a	n/a	n/a
25-13	THAT Council direct Administration to defer \$42,000 allocated in the 2025 Capital Project plan to 2029 for the Fuelling Station, and defer \$128,961 allocated in the 2025 Capital Project plan to 2026.	Fire Dept/Finance	Finance to allocate in FP	14-Jan-25	Complete
25-14	THAT Council defer discussion regarding an additional \$350,000 for the replacement of the 2006 Ford F550 Rescue Truck #8 to a future meeting of Council with supplementary information provided by Administration.	Fire Dept/Finance/Corp Serv	Prepare report with additional information	Q3 2025	

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-15	THAT Council direct Administration to refer discussion on the purchase and subscription of two Star link satellite systems to the Alberni-Clayoquot Regional District Emergency Program Executive Committee.	Corp Serv	Corporate Services to forward to ACRD for consideration	14-Jan-25	Letter sent January 22, 2025
25-16	THAT Council direct Administration to include the following in the 2025-2029 Financial Plan: Line 22122 - operational service level increase for the purpose of a new position (RCMP Electronic Disclosure Clerk): •2025 - \$96,803 •2026 – \$101,905 •2027 - \$102,085 •2028 - \$104,846 •2029 - \$107,698	Finance/HR (RCMP)	Finance to allocate in FP	14-Jan-25	Complete
25-17	THAT Council direct Administration to include a 2025 general capital expenditure in the amount of \$150,000 for the purpose of a secure police equipment room renovation in the 2025-2029 Financial Plan.	Finance/HR (RCMP)	Finance to allocate in FP	14-Jan-25	Complete
25-18	THAT Council amend the motion to add 'and cabinets in the amount of \$16,000'.	n/a	n/a	n/a	n/a
25-19	THAT Council defer funding RCMP Boardroom upgrades in the amount of \$17,000 and cabinets in the amount of \$16,000 included in the 2025 Financial Plan to support funding the secure police equipment room renovation.	Finance/HR (RCMP)	Finance to allocate in FP	14-Jan-25	Complete
25-20	THAT Council authorize renewal of the lease agreement between the City of Port Alberni and the Canadian Mental Health Association – Port Alberni for a six-year term of City parks caretaker residences located at Roger Creek Park, Russell Park, Williamson Park, Blair Park, Klitsa Park and Paper Mill Dam Park.	PRC/Corp Serv	PRC to coordinate	Q3 2025	
25-21	THAT Council amend the motion to include 'routine maintenance on the buildings is carried out, and that any requests for improvements are brought to Council for approval'.	n/a	n/a	n/a	n/a
25-22	THAT Council direct Administration that no further investments be made to the caretaker residences at Roger Creek Park, Russell Park, Williamson Park, Blair Park, Klitsa Park and Paper Mill Dam Park; while ensuring that the washrooms continue to be maintained, routine maintenance on the buildings is carried out, and that any requests for improvements are brought to Council for approval.	PRC/Corp Serv	PRC to monitor	14-Jan-25	Complete
DEFEATED	THAT Council direct Administration to not extend the Railway Operation and Maintenance Agreement with the Western Vancouver Island Industrial Heritage Society until an environmental insurance policy can be obtained.	n/a	n/a	n/a	n/a
25-23	THAT Council amend the motion to add 'and further, to research insurance coverage options available through the Island Corridor Foundation'.	n/a	n/a	n/a	n/a
25-24	THAT Council direct Administration to develop a risk mitigation plan for the Alberni Pacific Railway operations for consideration at a future meeting of Council and further, to research insurance coverage options through the Island Corridor Foundation.	PRC/Finance	PRC to prepare plan	Spring 2025	Complete
25-25	THAT Council receive the report '2024 Councillor By-Election Results' dated December 24, 2024 as information.	n/a	n/a	n/a	n/a
25-26	THAT Council direct Administration to amend the "McLean Mill National Historic Site Non-Historic Zone Operation and Management Agreement" with the Alberni Valley Chamber of Commerce to include requiring written approval of the City prior to the Chamber closing the site to the public for longer than 1 day.	PRC/Corp Serv	Managed via administration. No amendment to agreement required	Spring 2025	Complete



**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-27	THAT Council direct Administration to amend the "McLean Mill National Historic Site Non-Historic Zone Operation and Management Agreement" with the Alberni Valley Chamber of Commerce to include an increase from 15% to 50% of net revenues for any site closure longer than 4 consecutive days.	PRC/Corp Serv	Work with Albverni Valley Chamber of Commerce	Q3 2025	
25-28	THAT Council direct Administration to amend the "McLean Mill National Historic Site Non-Historic Zone Operation and Management Agreement" with the Alberni Valley Chamber of Commerce to charge an entry fee to the site.	PRC/Corp Serv	Managed via administration. No amendment to agreement required	Spring 2025	Complete
25-29	THAT Council approve a new grant application to the Forest Impact Transition stream of funding of the Rural Economic Diversification and Infrastructure Program.	Corp Serv/Econ Dev	Economic Development Mgr. to prepare grant application. Corporate Services to prepare certified resolution	14-Jan-25	Complete
25-30	THAT Council authorize two of the following three members of Council to participate in the annual BC Council of Forest Industries 2025 Convention, taking place April 2-4, 2025 in Prince George, BC with authorization to include reimbursement of expenses incurred as per Travel Policy No. 3009-2: • Mayor Minions, Councillor Dame, Councillor Verbrugge	Corp Serv/EA	EA to coordinate	14-Jan-25	Complete
25-31	THAT Council authorize Mayor Minions and Councillor Solda to participate in the annual Housing Central Conference, taking place November 17-19, 2025 in Vancouver, BC.	Corp Serv/EA	EA to coordinate	14-Jan-25	Complete
25-32	THAT Council direct staff to submit the following resolution for consideration at the 2024 Association of Vancouver Island and Coastal Communities [AVICC] AGM & Convention: WHEREAS, hundreds of jobs have been lost in the forest industry in BC in 2024, and hundreds more are at risk due to the increasing cost and difficulty of accessing fibre and multiple other reasons; and WHEREAS, this forest industry crisis has the potential for declines in population as well as declines in industrial property tax revenues in dozens of communities throughout British Columbia; now THEREFORE, be it resolved that AVICC and UBCM call on the provincial government to accelerate efforts to make more fibre available to mills at risk and work with industry as well as other stakeholders to find ways to reduce the cost of fibre delivered to the mills.	Corp Serv/EA	Corporate Services to prepare resolution and submit to AVICC	14-Jan-25	Submitted 01/31/25
25-33	THAT Council direct staff to submit the following resolution for consideration at the 2024 AVICC AGM & Convention: WHEREAS, hundreds of jobs have been lost in the forest industry in BC in 2024 and hundreds more are at risk due to the increasing cost of accessing fibre and multiple other reasons; and WHEREAS, the forest industry crisis has the potential for population declines as well as declines in industrial property tax revenues many communities throughout British Columbia; now THEREFORE, BE IT RESOLVED that AVICC and UBCM call on the provincial government to partner financially in localized efforts to ascertain the fibre type and volume available on a sustainable basis, to secure investment in appropriate technologies to maximize the value of that fibre, and to retrain forest industry workers to utilize that approach.	Corp Serv/EA	Corporate Services to prepare resolution and submit to AVICC	14-Jan-25	Submitted 01/31/25
25-34	THAT Council receive the report 'City of Port Alberni WWTP Compliance Inspection' dated January 7, 2025 as information.	n/a	n/a	n/a	n/a
RCM January 27, 2025					

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
	THAT the agenda be adopted as amended.	n/a	n/a	n/a	n/a
	THAT the Minutes of the Special Meeting and Regular Council meeting of January 13, 2025 be adopted as circulated.	n/a	n/a	n/a	n/a
25-35	THAT Council receive the Q4 Quarterly Department Reports from the Parks, Recreation & Culture, Human Resources, Corporate Services, and Development Services Departments for the period October 1, 2024 – December 31, 2024 as information.	n/a	n/a	n/a	n/a
25-36	THAT Council receive the report 'Nuisance Abatement Working Group – Quarterly Report' for the period October 1, 2024 – December 31, 2024 as information.	n/a	n/a	n/a	n/a
25-37	THAT "City of Port Alberni Nuisance Abatement Bylaw No. 4705-3, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 4705-3.	n/a	n/a	n/a	n/a
25-38	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by deleting line 22140 Parking Enforcement in the amount of \$25,000 in 2025-2029	Finance	Finance to allocate in FP	28-Jan-25	Complete
25-39	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to reflect the average annual cost of the snow and ice removal budget in the amount of \$200,000 for 2025-2029.	Finance/Infr Serv	Finance to allocate in FP	28-Jan-25	Complete
25-40	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to reduce any loss allocated in the budget related to the Multiplex Concession.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-41	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by moving the 'Fire Hall Shower Safety Improvements Upgrade TBD' to the 2027 budget.	Finance/Fire	Finance to allocate in FP	28-Jan-25	Complete
25-42	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by moving the Fire Hall front parking lot paving renewal in the amount of \$110,000 from 2026 to 2029.	Finance/Fire	Finance to allocate in FP	28-Jan-25	Complete
25-43	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by moving \$50,000 for 'Traffic Updates Intersection Safety' from 2025 to 2026.	Finance/Infr Serv	Finance to allocate in FP	28-Jan-25	Complete
25-44	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by drawing \$25,000 for [McLean Mill] John Dam operations from the Heritage Fee Reserve instead of taxation.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-45	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by reducing the engineering consulting services budget by \$45,000 in 2025.	Finance/Infr Serv	Finance to allocate in FP	28-Jan-25	Complete
25-46	THAT Council refer discussion on the reduction of annual street sweeping operations in the City to the Committee of the Whole.	Corp Serv/Infrastructure	Refer to CoW	18-Feb-25	Complete
25-47	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to reflect a \$56,000 budget reduction for placemaking initiatives in the 2025 budget, to be reviewed once a formal policy is developed.	Finance/Infr Serv	Finance to allocate in FP	28-Jan-25	Complete
25-48	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by adding uncommitted Community Investment Program funds, as per the previous year-end deadline, to the Parks, Recreation & Culture Reserve.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-49	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by reducing the size of the City's moss hanging baskets from 16" to 12", reflecting a reduction in the amount of \$4,500 .	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-50	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" so that seasonal bulb planting be eliminated and the 9 irrigated beds be planted with perennials in place of annuals.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-51	THAT Council postpone discussion on the pesticide spraying contract pending further information from Administration.	Finance/PRC/Corp Serv	Parks department to gather further information to present to Council	Q4 2025	
25-52	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by deferring the painting of Bob Dailey Stadium in the amount of \$21,850 from 2025 to 2027.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-53	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by eliminating the annual tree planting project as follows: \$79,590 in 2025, \$81,182 in 2026, \$81,182 in 2027, \$81,182 in 2028, and \$82,806 in 2029.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-54	THAT Council refer discussion on the placement of the Multiplex handrail in the amount of \$50,000 to the Committee of the Whole.	Corp Serv	Refer to CoW	3-Feb-25	Complete
25-55	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by deferring the painting of caretaker facility public washrooms in the amount of \$10,000 from 2025 to 2027.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-56	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by reducing the Future Capital Project Design budget under Road and Paving Design from \$250,000 to \$150,000 in 2025.	Finance/Infr Serv	Finance to allocate in FP	28-Jan-25	Complete
25-57	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by reducing Line item 27215 'Parks Maintenance' in the amount of \$50,000 for the three parks outside of City limits [Seaton Park, Somass Park and Paper Mill Dam Park].	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-58	THAT Council refer discussion on reduction of daily facility maintenance to an In Camera meeting of Council.	Finance/Corp Serv/PRC	Refer to In-Camera	10-Feb-25	Complete
25-59	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by reducing the 2025 museum budget by \$31,500, reducing museum operating hours by one hour a day and maintaining the current five days a week schedule.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-60	THAT Council amend the motion to remove the Councillor individual spending cap.	n/a	n/a	n/a	n/a
25-61	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by changing line item 21295 'Council Conferences Training Travel' to \$60,000 in 2025, increasing by \$2,500 annually in subsequent years.	Finance/EA	Finance to allocate in FP	28-Jan-25	Complete
25-62	THAT Council provide first reading to "City of Port Alberni 2025 - 2029 Financial Plan Bylaw No. 5123, 2025" as amended.	Finance/Corp Serv	Corporate Services to apply reading and distribute to Finance	28-Jan-25	Complete
25-63	THAT Council postpone discussion on directing Administration to research alternatives for museum operations.	n/a	n/a	n/a	n/a
25-64	THAT Council authorize Guru Nanak Sikh Society access to City streets on Sunday, April 13, 2025 for the purpose of the Vaisakhi Parade from the Guru Nanak Sikh Temple at 4144 8th Avenue to Roger Street, along 10th Avenue and Redford Street returning back to the Guru Nanak Sikh Temple subject to: •the notification of emergency services and BC Transit; •consultation with all affected businesses/residents; •provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control personnel as required; and •provision of standard liability insurance in the amount of \$5M.	Corp Serv/Infr Serv	Corporate Services to prepare letter and distribute	28-Jan-25	Complete
25-65	THAT the City of Port Alberni agrees to provide approval for the Alberni-Clayoquot Regional District (ACRD) to apply for the Union of BC Municipalities Community Emergency Preparedness Fund for the Emergency Operations Centres and Training grant and therefore, authorizes the ACRD to apply for, receive, and manage grant funding on behalf of the City of Port Alberni.	Corp Serv/Finance	Corporate Services to send certified resolutions to the ACRD	28-Jan-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-66	THAT Council, on behalf of Alberni Valley Chapter Canadian Council of the Blind, proclaim the week of February 3 - 10, 2025 as 'White Cane Week' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	28-Jan-25	Complete
25-67	THAT Council accept the Council correspondence summary as information.	n/a	n/a	n/a	n/a
25-68	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-69	THAT Council receive 'Release of In Camera Resolutions   2024 Annual Disclosure' dated January 20, 2025.	n/a	n/a	n/a	n/a
25-70	THAT Council receive the '2025 Council Appointments - Internal and External Committees & Commissions' dated January 23, 2025 as information.	n/a	n/a	n/a	n/a
25-71	<p>THAT Council direct Administration to report on the costs related to each of the following Fire Department services, including:</p> <ol style="list-style-type: none"> <li>1.Equipment costs on an annualized basis (purchase and maintenance).</li> <li>2.Specific equipment used in relation to the service.</li> <li>3.Training costs on an annualized basis.</li> <li>4.Specific certification required in relation to providing the service.</li> <li>5.Hours of person time required in the training and upkeep of equipment, on an annualized basis.</li> <li>6.Number of call outs for each service, on an annualized basis.</li> <li>7.Availability of alternate service providers on a contractual, or call out basis, including other emergency response agencies.</li> <li>8.Value of each service if provided on a contractual basis for full cost recovery.</li> <li>9.All above values to be on the basis of full cost accounting including shared associated costs for management fees, overhead, etc.</li> <li>10.The affect, if any, on the areas of jurisdiction as set out in schedule B to the Consolidated Fire Control Bylaw 4876 (4906).</li> </ol> <p>For the current services identified as:</p> <ol style="list-style-type: none"> <li>A.Marine Fire Suppression land-based and/or fire boat-based marine firefighting.</li> <li>B.Marine Rescue land-based and/or fire boat-based marine rescue provided in support of Royal Canadian Marine Search and Rescue, and/or Port Alberni Port Authority.</li> <li>C.Shipboard Firefighting land-based, shipboard above deck and/or fire boat-based shipboard firefighting under direction of Port Alberni Port Authority Harbour Master.</li> <li>D.Confined Space Rescue services within City of Port Alberni and contract service areas.</li> </ol>	Fire Dept/Corp Serv/Finance	Fire Dept to prepare report	Prior to Q4 2025	

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
	<p>E.Technical Rope Rescue services within City of Port Alberni and contract service areas.</p> <p>F.Slope Rescue services within City of Port Alberni and contract service areas, in support of Alberni Valley Rescue Squad.</p> <p>G.Hazardous Materials Mitigation Response to and mitigation of incidents, in support of responsible party.</p> <p>H.Swift Water Rescue services conducted from near, over, but not in moving water.</p> <p>I.Open Water Rescue services conducted from near, over, but not in standing water.</p> <p>J.Public Assistance Providing aid to members of the public where that aid is not inconsistent with the purpose of the fire department, and where that aid does not fall within another category of service.</p> <p>And for possible additional services of:</p> <p>K.Broom busting within Port Alberni and permitted interface areas surrounding Port Alberni.</p> <p>L.Wild fire fuel clearance within Port Alberni and permitted interface areas surrounding Port Alberni.</p> <p>M.Providing Fire Smart Program reviews to every address in Port Alberni.</p> <p>NOTE, THE FOLLOWING CURRENT SERVICES ARE NOT REQUIRED TO BE INCLUDED IN THIS REVIEW:</p> <p>N.Fire Prevention Regular system of inspections (utilizing a Chief Fire Prevention Officer, fire company inspections, third party inspectors), support the City's Planning Department in plan review, public fire safety education</p> <p>O.Structural Fire Suppression - The Department is authorized to provide fire suppression activities with and subject to the limitations set out in the Full-Service Level as defined in the British Columbia Fire Service Minimum Training Standards: Structure Firefighters – Competency and Training Playbook (September 2014), set under paragraph 3(3)(b) of the Fire Services Act (B.C.).</p> <p>P.Automobile Extrication Rescue - Rescue extrication services where victims may be trapped in or under an automobile or other vehicle, or entrapped by machinery, or another similar situation.</p> <p>Q.Wildland Fire Suppression Control and response of fire involving organic material, grass, brush, or forest.</p> <p>R.Medical First Responder Emergency medical services in partnership with BC Emergency Health Services (BCEHS) and in support of BC Ambulance Service.</p> <p>S.Other emergency or non-emergency public service(s) as authorized by the Fire Chief.</p>				
25-72	THAT Council direct Administration to reduce the capacity at all Everyone Welcome public swimming sessions by 1 Lifeguard (40 participants) as indicated by usage resulting in a savings of \$13,500.	PRC/Corp Serv	PRC to coordinate	28-Jan-25	Completed
25-73	THAT Council direct Administration to close Echo Aquatic Centre on Monday afternoons from 3:30 p.m. to 8:00 p.m. for an annual budget cost savings of \$47,450.	rescinded	rescinded	rescinded	rescinded
25-74	THAT Council rescind Resolution No. 25-73	n/a	n/a	n/a	n/a
25-75	THAT Council direct Administration to close Echo Aquatic Centre on Mondays from 5:00 p.m. to 8:00 p.m. resulting in a savings of \$7,500	PRC/Corp Serv	PRC to coordinate/Finance to allocate in FP	28-Jan-25	Completed
25-76	THAT Council direct Administration to add \$60,000 to the Echo Aquatic Centre budget to accommodate the addition of Saturday and Sunday hours and swim lessons.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-77	THAT Council direct Administration to update the 2025-2029 Five Year Financial Capital Plan to replace Echo Aquatic Centre main pool circulating pump in 2025 in the amount of \$19,200.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-78	THAT Council direct Administration to update the 2025-2029 Five Year Financial Capital Plan to replace the Echo Aquatic Centre corroded filter room piping in 2025 in the amount of \$24,000.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-79	THAT Council amend the motion to move the proposed structural review of Echo Aquatic Centre from 2026 to 2027.	n/a	n/a	n/a	n/a
25-80	THAT Council direct Administration to update the 2025-2029 Five Year Financial Capital Plan to conduct a structural review of the Echo Aquatic Centre in 2027 in the amount of \$24,912.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-81	THAT Council direct Administration to update the 2025-2029 Five Year Financial Capital Plan to replace the Echo Aquatic Centre tot's pool UV filter system in 2027 in the amount of \$49,500.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-82	THAT Council direct Administration to update the 2025-2029 Five Year Financial Capital Plan to replace the Echo Aquatic Centre south roof in 2027 in the amount of \$113,132.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-83	THAT Council direct Administration to update the 2025-2029 Five Year Financial Capital Plan to replace the Echo Aquatic Centre hydronic system equipment in 2027 in the amount of \$27,126.	Finance/PRC	Finance to allocate in FP	28-Jan-25	Complete
25-84	THAT Council direct Administration to work with the HFN Group of Businesses to draft a letter of support for the Microtel Project.	Corp Serv	Corporate Services to prepare letter and distribute	28-Jan-25	Complete
25-85	THAT Council direct Administration to work with the existing tenants of the Industrial Heritage Centre located at 3250 9 <sup>th</sup> Avenue to address current 2025 budget items and find options to address all issues identified in the Facilities Condition Assessment Report.	Corp Serv/PRC	PRC meeting with IHS on May 15 to discuss; PRC then to loop in Finance and Corporate Services to confirm next steps	Q4 2025	
25-86	THAT Council amend the motion to include the option to sell the property "as is".	n/a	n/a	n/a	n/a
25-87	THAT Council direct Administration to explore the process, timeline and related costs of demolishing all structures at the Industrial Heritage Centre located at 3250 9 <sup>th</sup> Avenue, leaving the property build ready, transferring ownership of the property, leasing the property at current market rates, or selling the property "as is".	PRC/Finance	Finance/Facilities to develop report to Council	Q4 2025	
25-88	THAT Council postpone discussion on artifacts located in the Industrial Heritage Centre to January 2026.	Corp Serv	Culture department to lead discussion on IHC artefacts with IHS and Council	1-Jan-26	
25-89	THAT Council direct Administration to reduce the current Economic Development and Business Development allocation by a total of \$64,196.	Finance/Econ Dev	Finance to allocate in FP	28-Jan-25	Complete
25-90	THAT Council direct Administration to prepare information on cancellation terms of the BCSPCA contract for service, as well as examine alternative options for animal control.	Finance/Corp Serv	Agreement related. Falls within Section 90 of CC	Spring 2025	Completed
25-91	THAT Council direct Administration to remove the Fire Department rear parking lot paving financial allocation from the 2025-2029 Financial Plan in the amount of \$92,000.	Finance/Fire Dept	Finance to allocate in FP	28-Jan-25	Complete
25-92	THAT Council direct Administration to reduce the street cleaning budget by \$30,000 in 2025 and going forward.	Finance/Infr Serv	Finance to allocate in FP	28-Jan-25	Complete
25-93	THAT Council direct Administration to reduce the 2025-2029 Financial Plan, Development Services budget allocation by a total of \$136,218 by deferring consulting work from 2025 to 2026.	Finance/Planning	Finance to allocate in FP	28-Jan-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-94	THAT Council direct Administration to include \$50,000 in 2026 from taxation for a Functional Study and Design to renovate the Fire Hall to address daily operations, growth, health and safety, gender requirements, and equipment storage in the 2025-2029 Financial Plan.	Finance/Fire Dept	Finance to allocate in FP	28-Jan-25	Complete
25-95	THAT Council direct Administration to allocate \$49,436 in 2025 from the Local Government Climate Action Program funding to the existing \$60,564 from ERRF to purchase and equip an electric or hybrid vehicle to replace the 2011 Chev Silverado 4x4 in the 2025-2029 Financial Plan.	Finance/Fire Dept	Finance to allocate in FP	28-Jan-25	Complete
25-96	THAT Council direct Administration to work together with the Alberni Clayoquot Regional District to investigate a regional fire services model.	Finance/Fire Dept	Departments to coordinate	Ongoing	
<b>RCM February 10, 2025</b>					
25-97	THAT Council receive the Five Year Financial Plan Q&A Summary as information.	n/a	n/a	n/a	n/a
25-98	THAT Council receive the Q4 Quarterly Department Reports from the Finance Department and Economic Development for the period October 1, 2024 – December 31, 2024 as information.	n/a	n/a	n/a	n/a
25-99	THAT Council receive the '4 <sup>th</sup> Quarter – 2024 Procurement Summary' dated February 5, 2025 as information.	n/a	n/a	n/a	n/a
25-100	THAT "City of Port Alberni 2025 - 2029 Financial Plan Bylaw No. 5123, 2025" be read a second time.	Finance/Corp Serv	Corporate Services to apply reading and distribute to Finance	11-Feb-25	Complete
25-101	THAT third reading of "Fire Control Bylaw No. 5122, 2024" be rescinded.	n/a	n/a	n/a	n/a
25-102	THAT "Fire Control Bylaw No. 5122, 2024" be read a third time, as amended.	Fire Dept/Corp Serv	Corporate Services to update bylaw, apply reading	11-Feb-25	Complete
25-103	THAT Council approve Policy No. 7000-1 'Port Alberni Fire Department Levels of Service'.	Fire Dept/Corp Serv	Corporate Services to distribute for signing and distribution	11-Feb-25	Complete
25-104	THAT "Parks and Public Places Bylaw No. 5121, 2024", be now introduced and read a first time.	PRC/Corp Serv	Corporate Services to apply reading	11-Feb-25	Complete
25-105	THAT "Parks and Public Places Bylaw No. 5121, 2024", be read a second time.	PRC/Corp Serv	Corporate Services to apply reading	11-Feb-25	Complete
25-106	THAT "Parks and Public Places Bylaw No. 5121, 2024", be read a third time.	PRC/Corp Serv	Corporate Services to apply reading	11-Feb-25	Complete
25-107	THAT Council on behalf of the Kinsmen Club of Port Alberni proclaim February 17-21, 2025 as Kinsmen and Kinette Week in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	11-Feb-25	Complete
25-108	THAT Council, on behalf of Heritage BC, proclaim the week of February 17 – 23, 2025 as 'Heritage Week' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	11-Feb-25	Complete
25-109	THAT Council on behalf of Vancouver Island Down Syndrome Society, proclaim March 21, 2025 as 'World Down Syndrome Day' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	11-Feb-25	Complete
25-110	THAT Council on behalf of GBS/CIDP Foundation of Canada, proclaim May 2025 as 'GBS/CIDP Awareness Month' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	11-Feb-25	Complete
25-111	THAT Council receive the Council Correspondence Report as information.	n/a	n/a	n/a	n/a
25-112	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-113	THAT Council authorize the issuance of Development Variance Permit No. 116 and that the Director of Corporate Services be authorized to sign the permit granting the following variance to the Zoning Bylaw at 3325 Johnston Road: i.Vary section 5.18.2 C4 Site Development Regulations, 'Maximum Height, Principal Building' from 9 meters to 14.1 meters, for a variance of 5.1 meters.	Planning/Corp Serv	Corporate Services to prepare for signatures and submission	11-Feb-25	Complete
25-114	THAT Council authorize the issuance of Development Permit No. 22-07 and that the Director of Corporate Services be authorized to sign the permit including the development plans as shown on Schedule 'B', prepared by Ti Studios Architecture Inc. and dated January 15, 2025.	Planning/Corp Serv	Corporate Services to prepare for signatures and submission	11-Feb-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-115	THAT Council direct Administration to provide a letter of support in principle for the FIFA 2026 Friendly Matches and Cultural Celebration.	Corp Serv	Corporate Services to prepare letter and distribute	11-Feb-25	Complete
25-116	THAT Council direct Administration to amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" as follows: a)Defer the following equipment from the Equipment Replacement Reserve Fund in 2025 to 2026: •Replace 2008 Dodge Ram 3500 Flat deck (shop) #150 - \$46,182 •Replace 2011 Freightliner Asphalt Patch Truck #266 - \$415,000 •Replace 2013 Volvo Dump Tandem Axle #267 - \$194,386 •Replace 2005 John Deere Loader #350 - \$288,285 •Replace 2005 Volvo Grader #355 - \$306,818 •Replace 1990 Britco Office Trailer #369 - \$26,258 •Replace 1995 BOMAG ROLLER #395 - \$60,696 •Replace 2004 CHEV 3500 CUBE VAN (used) #616 - \$51,724 •Replace 2006 FORD E350 15 PASSENGER VAN #619 - \$62,016 •Replace 2012 Chev 3500 Service Truck #521 - \$77,681	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-117	THAT Council direct Administration to amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" as follows: a)Add funding from Equipment Replacement Reserve Fund in 2025 for the following: •Replace 2014 Toyota Tacoma #522 - \$50,470 – additional funding of \$24,830 for a new allocation of \$75,300 •Replace 2015 Ventrac Mower #609 - \$41,184 - additional funding of \$ 29,616 for a new allocation of \$70,800	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-118	THAT Council direct Administration to amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" as follows: •Utilize Equipment Replacement Reserve Fund to fund solid waste trucks in 2025 rather than taxation for \$290,880.	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-119	THAT Council direct Administration to amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" as follows: •Utilize the lease asset management allocation in 2025 for the RCMP storage upgrades for \$150,000 rather than taxation.	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-120	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to include \$79,590 in 2025 for the annual tree planting project from the Community Forest Reserve fund.	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-121	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to include fifty percent of the cost of replacing the Multiplex rink boards in 2025 from the Community Forest Reserve fund.	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-122	THAT Council direct Administration to reallocate \$20,000 within the RCMP 2025 budget to the Alberni Valley Restorative Justice Society as a one-time grant.	Finance/Corp Serv	Finance to allocate in FP	11-Feb-25	Complete
25-123	THAT Council direct Administration to assist the Alberni Valley Restorative Justice Society in locating suitable office space within City facilities at no cost up to and including December 31, 2025, and that the organization be required to apply for the Community Investment Program for the year 2026 onward for continued use of City office spaces.	Finance/Corp Serv	Space offered to Society	Spring 2025	Completed



**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-124	THAT Council direct Administration to accommodate the Alberni Valley Restorative Justice Society access to the Echo Park Fieldhouse up to a maximum of 3 times per month to use as circle space [scheduled around other facility bookings] at no cost up to and including December 31, 2025; AND FURTHER, THAT Council direct Administration that the Alberni Valley Restorative Justice Society be required to apply for the Community Investment Program for the year 2026 onward for continued use of City facility meeting spaces.	Finance/Corp Serv/PRC	PRC to communicate to booking clerk	11-Feb-25	Complete
<b>RCM February 24, 2025</b>					
25-125	THAT Council receive the report 'Quay to Quay Pathway Completion' dated February 19, 2025 as information.	n/a	n/a	n/a	n/a
25-126	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by directing a contribution of \$364,883 to the Asset Management Reserve, reflecting the projected 2025 value of non-market change within the tax roll; AND FURTHER, THAT this amount be adjusted based on the revised tax roll for non-market change and amended Financial Plan to accurately reflect any updates when the Tax Rate bylaw is brought forward.	Finance/Corp Serv	Finance to allocate in FP	25-Feb-25	Complete
25-127	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by allocating \$200,000 from the Quay to Quay Pathway Funding for Wayfinding signage in collaboration with the Tseshaht [čičaaʔath] and Hupačasath First Nations, and that the remaining funds be allocated to the Growing Communities fund.	Finance/Corp Serv	Finance to allocate in FP	25-Feb-25	Complete
25-128	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by allocating \$103,000 from the Asset Renewal Lease Facilities Fund to fund the overspend on the Train Station Phase II project.	Finance/Corp Serv	Finance to allocate in FP	25-Feb-25	Complete
25-129	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by allocating \$487,300 for the additional costs incurred on the construction of the Childcare Centre from the Growing Communities Fund.	Finance/Corp Serv	Finance to allocate in FP	25-Feb-25	Complete
25-130	THAT Council amend the motion by adding the phrase 'in congregate' to the end of the motion.	n/a	n/a	n/a	n/a
25-131	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by reducing street sweeping to only six months of the year in congregate.	Finance/Corp Serv	Finance to allocate in FP	25-Feb-25	Complete
25-132	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by directing funding related to RCMP contract services as follows: •RCMP contract commitment of 34 officers; •Fund 32 of 34 RCMP officers as per the contract commitment and based on actual utilization; •Confirm taxation for Community Policing Service in 2025 and future years.	Finance/Corp Serv	Finance to allocate in FP	25-Feb-25	Complete
25-133	THAT "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" be read a third time, as amended.	Finance/Corp Serv	Corporate Services to apply reading and distribute to Finance	25-Feb-25	Complete
25-134	THAT Council amend the draft "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" Schedule A 'Section 1.2 Age Classifications' to reflect the difference between adults and seniors being at 60 years of age (adults 19-59, seniors 60+).	PRC/Corp Serv	PRC to apply amendments prior to next reading	25-Feb-25	Complete
25-135	THAT Council amend the draft "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" by changing admission rates for seniors including general admission, 10 punch pass, monthly and annual passes, to be set to the same rate as the children/teen rate.	PRC/Corp Serv	PRC to apply amendments prior to next reading	25-Feb-25	Complete
25-136	THAT Council direct Administration to develop a policy on reducing or waiving admission or rental fees for any particular participant demographic or event type.	PRC/Corp Serv	PRC to prepare	Q4 2025	

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-137	THAT Council amend the draft "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" by removing the special exception for the Sunshine Club in City of Port Alberni rental rates.	PRC/Corp Serv	PRC to apply amendments prior to next reading	25-Feb-25	Complete
25-138	THAT Council direct Administration to explore development of a lease agreement with the Sunshine Club.	PRC/Corp Serv	PRC to work with Sunshine Club	Q3 2025	
25-139	THAT Council refer discussion on development of a recreational facility lease policy to a future Committee of the Whole meeting.	PRC/Corp Serv	Refer to CoW	Q3 2025	* May be addressed by Fees and Charges Amendment Bylaw No. 5125-1. Council to consider final adoption August 11.
25-140	THAT "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" be now introduced and read a first time.	PRC/Corp Serv	Corporate Services to apply reading	25-Feb-25	Complete
25-141	THAT "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" be read a second time.	PRC/Corp Serv	Corporate Services to apply reading	25-Feb-25	Complete
25-142	THAT "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" be read a third time.	PRC/Corp Serv	Corporate Services to apply reading	25-Feb-25	Complete
25-143	THAT "Parks and Public Places Bylaw No. 5121, 2024" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5121.	PRC/Corp Serv	Corporate Services to apply reading and distribute	25-Feb-25	Complete
25-144	THAT "Fire Control Bylaw No. 5122, 2024" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5122.	Fire Dept/Corp Serv	Corporate Services to apply reading and distribute	25-Feb-25	Complete
25-145	THAT Council direct Administration to draft a letter of support to the Island Health Rural Coordination Centre for BC (RCCBC) for a site visit to the City of Port Alberni.	Corp Serv	Corporate Services to prepare and distribute letter	25-Feb-25	Complete
25-146	THAT Council receive the certificate of congratulations from Cando and the Federation of Canadian Municipalities for the City's contribution to joint collaboration with the Tseshah and Hupacasath First Nations through the First Nations – Municipal Community Economic Development Initiative.	n/a	n/a	n/a	n/a
25-147	THAT Council authorize the request from the Conseil scolaire francophone de la Colombie-Britannique to raise the Francophone flag in front of City Hall from March 1-31 in support of the francophone community in Port Alberni.	Corp Serv	Corporate Services to arrange flag raising with maintenance and prepare letter and distribute	25-Feb-25	Complete
25-148	THAT Council receive the February 24, 2025 Correspondence Summary as information.	n/a	n/a	n/a	n/a
25-149	THAT Council direct Administration to provide a report to the Committee of the Whole prior to Q4, 2025 giving more detail on the levels of service provided as outlined in the Port Alberni Fire Department Levels of Service Policy No. 7000-1.	Fire Dept/Corp Serv	Fire Dept to prepare report	Prior to Q4 2025	
25-150	THAT Council receive the report 'Transportation Master Plan, Phase 1 Engagement' dated February 13, 2025 as information.	n/a	n/a	n/a	n/a
25-151	THAT Council receive the report 'Parks, Recreation & Culture Master Plan: Round 1 Engagement Summary, Winter 2025' dated February 12, 2025 as information.	n/a	n/a	n/a	n/a
25-152	THAT Council receive the report 'Results of Facility Condition Assessments' dated February 6, 2025 as information.	n/a	n/a	n/a	n/a
25-153	THAT Council direct Administration to prepare changes to "Business Licence Regulation Bylaw No. 4951, 2017" related to special events as follows: •Have a clear definition of a special event in the bylaw; •The current fee of \$220 per day be charged on "for-profit" events not related to a non-profit or charity; •Introduce a new lower fee for non-profit and charitable events and/or introduce exemptions language for non-profit and charitable events; •AND FURTHER, THAT Council direct Administration to not charge the Special Event fee for non-profit or charitable events until the above amendments to Bylaw No. 4951 have been adopted by Council	Dev Serv/Corp Serv/Finance	Development Services to prepare amending bylaw	March 24 RCM	Completed

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-154	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" by allocating \$3,000 from the Reconciliation operating budget to complete the Welcome to Port Alberni Sign project.	Finance/Corp Serv/Infr Serv	Financial Plan Bylaw Amendment 1 adopted July 14/25	25-Feb-25	Complete
25-155	THAT Council direct Administration to engage with neighbouring governments such as the Regional District and First Nations and/or relevant service groups to inquire if they are interested in receiving the Robo Washrooms and providing this service.	Corp Serv/Infr Serv	CAO to coordinate. Letters sent.	Q3 2025	
25-156	THAT Council direct Administration to coordinate acceptance of the (2) Robo Washrooms offered by donation from the Calgary Municipal Land Corporation (CMLC).	Infr Serv/Ops	To be delivered in May 2025	Spring 2025	Complete
<b>RCM March 10, 2025</b>					
25-157	THAT "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5123.	Finance/Corp Serv	Corporate Services to apply reading and distribute	11-Mar-25	Complete
25-158	THAT "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5106.	PRC/Corp Serv/Finance	Corporate Services to apply reading and distribute	11-Mar-25	Complete
25-159	THAT "Parks, Recreation and Culture Facilities Fees and Charges Bylaw No. 5106, 2024" come into effect on September 1, 2025.	PRC/Corp Serv/Finance	PRC to coordinate	11-Mar-25	Complete
25-160	THAT Council direct staff to prepare a letter of thanks to the Honourable Josie Osborne, Minister of Health in support of the BC Farmers' Market Nutrition Coupon Program.	Corp Serv	Corporate Services to prepare letter and distribute	11-Mar-25	Complete
25-161	THAT Council on behalf of Walk for Values, proclaim April 24, 2025 as 'Human Values Day' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	11-Mar-25	Complete
25-162	THAT Council receive the March 10, 2025 Correspondence Summary as information.	n/a	n/a	n/a	n/a
25-163	THAT Council receive reports outlining recent meetings and events related to the City's business as information.	n/a	n/a	n/a	n/a
25-164	THAT Council authorize the issuance of Development Variance Permit No. 124 and that the Director of Corporate Services be authorized to sign the permit granting the following variance to the Zoning Bylaw at 4609 10th Avenue: i. Vary Section 5.10.2 R Primary Residential Site Development Regulations, 'Minimum Setback, Rear Yard' from 5 metres to 2.41 metres, for a variance of 2.59 metres for the existing single-detached dwelling.	Dev Serv/Corp Serv	Corporate Services to prepare for signatures and submission	11-Mar-25	Complete
25-165	THAT Council receive the report titled "2025 Tax Rate Review" dated March 4, 2025 as information.	n/a	n/a	n/a	n/a
25-166	THAT Council indicate support for tax share splits consistent with 2024, with the shifts based on Non-Market Change in the 2025 revised assessment roll.	Finance/Corp Serv	Finance to apply in Tax Rate Bylaw	11-Mar-25	Complete
25-167	THAT Council direct staff to proceed with exterior modification to the Train Station to improve access to a commercial kitchen on-site as per the Waymark Architect, Drawings of Proposed Modifications included in the report to Council dated March 6, 2025.	PRC/Finance/Corp Serv	PRC to communicate with Tenant	11-Mar-25	Complete
<b>RCM March 24, 2025</b>					
25-168	THAT "Solid Waste Collection and Disposal Bylaw No. 5120, 2025" be now introduced and read a first time.	Finance/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-169	THAT "Solid Waste Collection and Disposal Bylaw No. 5120, 2025" be read a second time.	Finance/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-170	THAT "Solid Waste Collection and Disposal Bylaw No. 5120, 2025" be read a third time.	Finance/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-171	THAT "Business Licence Regulation Bylaw, City of Port Alberni, Bylaw No. 4951-03" be now introduced and read a first time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-172	THAT "Business Licence Regulation Bylaw, City of Port Alberni, Bylaw No. 4951-03" be read a second time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-173	THAT "Business Licence Regulation Bylaw, City of Port Alberni, Bylaw No. 4951-03" be read a third time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-174	THAT "Official Community Plan Amendment Bylaw No. 5118" be now introduced and read a first time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-175	THAT "Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119" be now introduced and read a first time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-176	THAT "Official Community Plan Amendment Bylaw No. 5118" be now read a second time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-177	THAT "Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119" be now read a second time.	Dev Serv/Corp Serv	Corporate Services to apply to Bylaw	25-Mar-25	Complete
25-178	THAT amending Bylaws No. 5118 and 5119 be advanced to a Public Hearing on Monday, May 14, 2025 at 6:00 pm in City Hall, Council Chambers.	Dev Serv/Corp Serv	Corporate Services to schedule Public Hearing	14-May-25	Complete
25-179	THAT Council on behalf of Victoria and Vancouver Island Greek Community Society proclaim March 25, 2025 as 'Greek Heritage Day' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	25-Mar-25	Complete
25-180	THAT Council receive the March 24, 2025 Correspondence Summary as information.	n/a	n/a	n/a	n/a
25-181	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-182	THAT Council direct Administration to work with Island Health to develop a draft Municipal Alcohol Policy.	Corp Serv	Corporate Services to prepare policy	Spring/Summer 2025	Complete
25-183	THAT Council support in principle completion of the Living Wage calculation for Port Alberni by the Alberni Clayoquot Health Network.	Corp Serv	Corporate Services to prepare certified resolution and distribute	25-Mar-25	Complete
<b>RCM April 14, 2025</b>					
25-184	THAT Council receive the R.C.M.P. Quarterly report for the period January 1, 2025 – March 31, 2025 as information.	n/a	n/a	n/a	n/a
25-185	THAT Council receive the Quarterly Reports from the Infrastructure Services and Corporate Services departments for the period January 1, 2025 – March 31, 2025 as information.	n/a	n/a	n/a	n/a
25-186	THAT Council receive the report '1 <sup>st</sup> Quarter - 2025 Procurement Summary' dated March 31, 2025 as information.	n/a	n/a	n/a	n/a
25-187	THAT Council direct Administration to amend the "City of Port Alberni 2025 – 2029 Financial Plan Bylaw No. 5123, 2025" as follows: •Lower line 11111 - General Purpose – Taxes – from \$35,744,832 to \$35,619,845. •Lower line 28211 - Transfers to Reserve – Asset Management from \$ 1,522,784 to \$1,397,797.	Corp Serv/Finance	Financial Plan Bylaw Amendment 1 adopted July 14/25	15-Apr-25	Complete
25-188	THAT "City of Port Alberni Tax Rates Bylaw No. 5124, 2025" be now introduced and read for a first time.	Corp Serv/Finance	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-189	THAT "City of Port Alberni Tax Rates Bylaw No. 5124, 2025" be read a second time.	Corp Serv/Finance	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-190	THAT "City of Port Alberni Tax Rates Bylaw No. 5124, 2025" be read a third time.	Corp Serv/Finance	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-191	THAT "Fees and Charges Bylaw No. 5125, 2025" be now introduced and read a first time.	Corp Serv/Finance	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-192	THAT "Fees and Charges Bylaw No. 5125, 2025" be read a second time.	Corp Serv/Finance	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-193	THAT "Fees and Charges Bylaw No. 5125, 2025" be read a third time.	Corp Serv/Finance	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-194	THAT "Animal Control and Pound Bylaw No. 5126, 2025" be now introduced and read a first time.	Corp Serv/Bylaw	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-195	THAT "Animal Control and Pound Bylaw No. 5126, 2025" be read a second time.	Corp Serv/Bylaw	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-196	THAT "Animal Control and Pound Bylaw No. No. 5126, 2025" be read a third time.	Corp Serv/Bylaw	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-197	THAT "City of Port Alberni Cemetery Management Bylaw No. 5127, 2025" be now introduced and read a first time.	Corp Serv/Eng/PW	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-198	THAT "City of Port Alberni Cemetery Management Bylaw No. 5127, 2025" be read a second time.	Corp Serv/Eng/PW	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-199	THAT "City of Port Alberni Cemetery Management Bylaw No. 5127, 2025" be read a third time.	Corp Serv/Eng/PW	Corporate Services to apply reading to Bylaw	15-Apr-25	Complete
25-200	THAT "Solid Waste Collection and Disposal Bylaw No. 5120, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5120.	Corp Serv/Finance/Eng/PW	Corporate Services to apply signatures to Bylaw and distribute	15-Apr-25	Complete
25-201	THAT "Business License Regulation Bylaw No. 4951-3, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 4951-3.	Corp Serv/Dev Serv/Finance	Corporate Services to apply signatures to Bylaw and distribute	15-Apr-25	Complete
25-202	THAT Council authorize the Alberni-Clayoquot Regional District request to conduct a feasibility study for renovations to the existing Echo Aquatic Centre.	Corp Serv/PRC	Corporate Services to prepare letter and distribute	15-Apr-25	Letter emailed April 17, 2025
25-203	THAT Council on behalf of United Steelworkers Local 1-1937 declare April 28, 2025 as Day of Mourning in recognition of workers either injured or killed on the job, and fly the National Day of Mourning Flag at City Hall at half-mast on April 28th.	Corp Serv	Corporate Services to prepare letter and distribute and arrange for flag raising with maintenance	15-Apr-25	Complete
25-204	THAT Council on behalf of Save Your Skin Foundation proclaim May 1-31, 2025 as 'Melanoma and Skin Cancer Awareness Month' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	15-Apr-25	Letter emailed April 23, 2025
25-205	THAT Council on behalf of Alberni Valley Hospice Society declare May 2025 as 'National Hospice Palliative Care Month' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute and arrange for photo op with Mayor	15-Apr-25	Letter emailed April 23, 2025
25-206	THAT Council on behalf of Prostate Cancer Foundation Canada proclaim September 2025 as 'Prostate Cancer Awareness Month' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	15-Apr-25	Letter emailed April 23, 2025
25-207	THAT Council direct Administration to participate in the Ministry of Health Workplace Nasal Naloxone Project initiative for publicly funded organizations to receive a one time no cost distribution of nasal naloxone kits and further, that staff be equipped with the associated training to recognize and respond to suspected drug poisoning.	Corp Serv/HR	HR to complete application forms and distribute and arrange training to staff at applicable City facilities	15-Apr-25	Complete
25-208	THAT Council receive the April 14, 2025 correspondence summary as information.	n/a	n/a	n/a	n/a
25-209	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-210	THAT Council receive the 'Police Services Update - Police Resources in BC, 2023' report dated April 4, 2025 as information.	n/a	n/a	n/a	n/a
<b>RCM April 28, 2025</b>					
25-211	THAT Council receive the Quarterly Reports from the Development Services, Economic Development, Finance, Human Resources, and Parks, Recreation and Culture departments for the period January 1, 2025 – March 31, 2025 as information.	n/a	n/a	n/a	n/a
25-212	THAT Council receive the report 'Nuisance Abatement Working Group – Quarterly Report' for the period January 1, 2025 – March 31, 2025 as information.	n/a	n/a	n/a	n/a
25-213	THAT "Animal Control and Pound Bylaw No. 5126, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5126.	Corp Serv	Corporate Services to apply signatures to Bylaw and distribute	29-Apr-25	Completed
25-214	THAT "Cemetery Management Bylaw No. 5127, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5127.	Corp Serv	Corporate Services to apply signatures to Bylaw and distribute	29-Apr-25	Completed
25-215	THAT "Fees & Charges Bylaw No. 5125, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5125.	Corp Serv	Corporate Services to apply signatures to Bylaw and distribute	29-Apr-25	Completed

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-216	THAT "Tax Rates Bylaw No. 5124, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5124.	Corp Serv	Corporate Services to apply signatures to Bylaw and distribute	29-Apr-25	Completed
25-217	THAT "Bylaw Notice Enforcement Bylaw No. 5128, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	29-Apr-25	Completed
25-218	THAT "Bylaw Notice Enforcement Bylaw No. 5128, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	29-Apr-25	Completed
25-219	THAT "Bylaw Notice Enforcement Bylaw No. 5128, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	29-Apr-25	Completed
25-220	THAT Council authorize the 2025 ADSS Prom Committee access to City streets on Saturday, June 21, 2025 from 5:15 to 6:45 pm for the purpose of a prom parade from Burde St. to 10th Ave. through to Roger St., ending at the Athletic Hall [3727 Roger St.] subject to: · the notification of emergency services and BC Transit; · consultation with all affected businesses/residents; provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control Personnel as required; · provision of standard liability insurance in the amount of \$5M [minimum].	Corp Serv	Corporate Services to prepare letter and distribute	29-Apr-25	Completed
25-221	THAT Council on behalf of MS Canada declare the month of May 2025 as 'MS Awareness Month' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	29-Apr-25	Completed
25-222	THAT Council receive the letter from the Falun Dafa Association of Canada as information.	Corp Serv	Corporate Services to prepare letter and distribute	29-Apr-25	Completed
25-223	THAT Council on behalf of the Vancouver Island Economic Alliance proclaim May 30, 2025 to June 6, 2025 as 'Island Good Days' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	29-Apr-25	Completed
25-224	THAT Council on behalf of the Pacific Salmon Foundation proclaim June 1, 2025 as 'Wild Salmon Day' in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	29-Apr-25	Completed
25-225	THAT Council receive the Council Correspondence Summary as information.	n/a	n/a	n/a	n/a
25-226	THAT the Council reports outlining recent meetings and events related to the City's business, be received as information.	n/a	n/a	n/a	n/a
25-227	THAT Council endorse the Alberni Valley Community Forest Corporation Resolutions of Shareholder in writing as presented.	Corp Serv			Completed
25-228	THAT Council direct Administration to proceed with renting a plate and frame chiller and installing ice at the Multiplex for the period of June 2025 – May 2026 at the cost of \$285,000.	Finance/PRC	Finance to reflect in FP and PRC to coordinate rental and installation	1-Jul-25	Complete
25-229	THAT Council direct Administration to begin the process of replacing the current shell and tube chiller with a plate and frame chiller, with installation of the unit to occur in spring 2026 in time for summer 2026 ice operations.	Finance/PRC	PRC and Finance to coordinate	Spring 2026	Complete
25-230	THAT Council authorize Councillor Verbrugge to participate in the BC Community Forest Association (BCCFA) 2025 Conference and AGM, taking place May 26-28, 2025 in Nanaimo, BC, with authorization to include reimbursement of travel and accommodation expenses incurred as per Travel Policy No. 3009-2.	Corp Serv/EA	EA to coordinate attendance	29-Apr-25	Completed
25-231	THAT Council contribute a combination of \$5,000 in kind or in cash from the Reconciliation Fund to the 2025 Tseshaht Lightning Open Basketball Tournament taking place May 16 – 19, 2025, and direct Administration to work with Tseshaht Lightning representatives to determine the best use of funds.	Finance/PRC	Finance to distribute. Administration to meet with representatives	1-May-25	Complete
25-232	THAT Council direct Administration to provide an overview of short-term rental requirements in the City.	Dev Serv	Development Services to prepare report	Q4 2025	
25-233	THAT Council direct Administration to research, draft and introduce a Tree Protection and Regulation Bylaw.	PRC/Corp Serv	PRC to prepare report	Q1 2026	

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-234	THAT Council approve Volunteer Policy No. 3002-8 and the associated Volunteer Handbook.	Corp Serv	Corporate Services to prepare policy for signature and distribution	29-Apr-25	Completed
25-235	THAT Council direct Administration to prepare a letter to the Ministry of Transportation and Transit requesting their attendance at a Regular meeting to provide a delegation regarding traffic safety plans in Cathedral Grove.	Corp Serv	Corporate Services to prepare letter and distribute	29-Apr-25	Letter sent. Request deferred to DM office May 15. Follow up email sent July 22.
25-236	THAT Council direct Administration to prepare a letter to the City of Vancouver offering condolences regarding the recent tragedy in the Vancouver Filipino community.	Corp Serv	Corporate services to prepare letter and distribute	29-Apr-25	Completed
<b>RCM May 12, 2025</b>					
25-237	THAT the Auditor's Report and the 2024 Audited Financial Statements prepared by MNP Chartered Accountants be received and approved as presented.	n/a	n/a	n/a	n/a
25-238	THAT "Bylaw Notice Enforcement Bylaw No. 5128, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5128.	Corp Serv	Corporate Services to apply signatures to Bylaw and distribute	13-May-25	Complete
25-239	THAT "Respectful Behaviour Bylaw No. 5129, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	13-May-25	Complete
25-240	THAT "Respectful Behaviour Bylaw No. 5129, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	13-May-25	Complete
25-241	THAT "Respectful Behaviour Bylaw No. 5129, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	13-May-25	Complete
25-242	THAT Council direct Administration to provide a letter to the Port Alberni Pickleball Association in support of the proposed upgrades to existing City facilities, to assist with their grant funding applications.	Corp Serv	Corporate Services to prepare letter and distribute	13-May-25	Complete
25-243	THAT Council direct Administration to work with the Port Alberni Picklers Association on proposed upgrades to existing City facilities, including design development and cost estimates, for Council consideration.	PRC/Corp Serv	Memorandum of Understanding Executed	Ongoing	Complete
25-244	THAT Council direct Administration to collaborate with the Royal Canadian Legion, Alberni Valley Branch 293 to identify a potential location for installation of a commemorative crosswalk to provide for Council consideration with estimated costs.	Corp Serv/ Infr Serv	Corporate Services to prepare letter and distribute. Infrastructure Services to prepare estimate	Ongoing	Letter sent
25-245	THAT Council receive the May 12, 2025 correspondence summary as information.	n/a	n/a	n/a	n/a
25-246	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-247	THAT Council receive the report 'Corporate Strategic Plan Review' dated May 2, 2025 as information.	n/a	n/a	n/a	n/a
25-248	THAT the Mayor and Corporate Officer be authorized to execute the BC Transit 2025 - 2026 Annual Operating Agreement between the City of Port Alberni and British Columbia Transit effective April 1, 2025 to March 31, 2026.	Corp Serv	Corporate Services to apply signatures and distribute	13-May-25	Complete
<b>RCM May 26, 2025</b>					
25-249	THAT Council receive the Quarterly Report from the Fire department for the period January 1, 2025 – March 31, 2025 as information.	n/a	n/a	n/a	n/a
25-250	THAT "Respectful Behaviour Bylaw No. 5129, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5129.	Corp Serv	Corporate Services to apply signatures to Bylaw and distribute	27-May-25	Complete
25-251	THAT Council receive the May 26, 2025 correspondence summary as information.	n/a	n/a	n/a	n/a
25-252	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a



**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-253	<p>THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" for the purpose of Capital Plan changes for Master Planning projects as follows:</p> <p>a)Reallocate \$26,000 from project #24004, "Fire Services Master Plan", to project #24001, "Parks, Recreation &amp; Culture Master Plan";</p> <p>b)Reallocate \$124,000 from project #24004, "Fire Services Master Plan", to proposed 2026 capital project "Development Cost Charges Update".</p>	Finance/Corp Serv	Financial Plan Bylaw Amendment 1 adopted July 14/25	Fall 2025	Complete
25-254	THAT Council receive the report 'UBCM 2025 Resolutions' dated May 26, 2025 as information.	n/a	n/a	n/a	n/a
25-255	THAT Council authorize the Community Heritage Commission to participate in the 2025 Alberni District Fall Fair to host an information and engagement booth, and to conduct a short community survey regarding cultural and heritage awareness, interests, and future initiatives.	PRC	Manager of Culture to coordinate	Fall 2025	Complete
25-256	<p>THAT Council authorize the issuance of Development Variance Permit No. 125 and that the Director of Corporate Services be authorized to sign the permit granting the following variance to the Zoning Bylaw with conditions at 4691 Gertrude Street:</p> <ul style="list-style-type: none"> <li>•Vary Section 6.7.4 to increase the permitted height of a fence from the rear of the required front yard setback to the rear of the property to 2.44 metres for a variance of 0.64 metres.</li> </ul>	Dev Serv/Corp Serv	Corporate Services to prepare for signatures and submission	27-May-25	Complete
25-257	THAT Council receive the report 'Paper Mill Dam Park Maintenance' dated May 22, 2025 as information.	n/a	n/a	n/a	n/a
<b>RCM June 9, 2025</b>					
25-258	THAT Council receive the "2024 Development Cost Charges" report dated June 2, 2025 as information.	n/a	n/a	n/a	n/a
25-259	THAT "Council Remuneration and Expenses Amendment Bylaw No. 4835-5, 2025" be amended to reflect the addition "with the changes set to take effect in 2026, following the next election".	Corp Serv	Corporate Services to amend Bylaw	10-Jun-25	Complete
25-260	THAT "Council Remuneration and Expenses Amendment Bylaw No. 4835-5, 2025" be now introduced and read a first time, as amended.	Corp Serv	Corporate Services to apply reading to Bylaw	10-Jun-25	Complete
25-261	THAT "Council Remuneration and Expenses Amendment Bylaw No. 4835-5, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	10-Jun-25	Complete
25-262	THAT "Council Remuneration and Expenses Amendment Bylaw No. 4835-5, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	10-Jun-25	Complete
25-263	THAT Council direct Administration to provide a letter of support to the Tsuma-as Housing Society for their funding application to BC Housing's Community Housing Fund for their affordable housing projects.	Corp Serv	Corporate Services to prepare letter and distribute	10-Jun-25	Complete
25-264	<p>THAT Council authorize WVIIHS access to City streets from 5:00 p.m. on Friday, August 29, 2025 to 5:00 p.m. on Sunday, August 31, 2025 on Dunbar Street, from the corner of 7th Avenue to 9th Avenue for the purpose of an antique trucks and machinery show subject to:</p> <ul style="list-style-type: none"> <li>· the notification of emergency services and BC Transit;</li> <li>· consultation with all affected businesses/residents;</li> <li>· provision of a Traffic Safety Plan completed by a certified professional, including qualified Traffic Control Personnel as required;</li> <li>· provision of standard liability insurance in the amount of \$5M [minimum]</li> </ul>	Corp Serv	Corporate Services to coordinate with WVIIHS	10-Jun-25	Complete



**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-265	THAT Council on behalf of Lifesaving Society Canada proclaim July 20-26, 2025 as National Drowning Prevention Week in Port Alberni.	Corp Serv	Corporate Services to prepare letter and distribute	10-Jun-25	Complete
25-266	THAT Council receive the June 9, 2025 correspondence summary as information.	n/a	n/a	n/a	n/a
25-267	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-268	THAT Council endorse application to the BC Local Government Infrastructure Planning Grant Program (LGIP) for the following projects, in order of preference: i. Watershed Protection Plan ii. Drinking Water Master Plan iii. Condition Assessment of Wastewater Pumping Stations	Infr Serv/Corp Serv	Corporate Services to prepare certified resolution and distribute	10-Jun-25	Complete
<b>RCM June 23, 2025</b>					
25-269	THAT the minutes of the Public Hearing on May 12, 2025 regarding Official Community Plan Amendment Bylaw No. 6123 and Zoning Amendment Bylaw No. 6151, be adopted as presented.	Corp Serv	Corporate Services to prep for signature and file	24-Jun-25	Complete
25-270	THAT Council direct Administration to work with the applicant to determine lower density options for the Rainbow Gardens development application at 6123 & 6151 Russell Place.	Dev Serv	Development Services to engage with Applicant	August 11 RCM	Complete
25-271	THAT "Waterworks Bylaw No. 5131, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-272	THAT "Waterworks Bylaw No. 5131, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-273	THAT "Waterworks Bylaw No. 5131, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-274	THAT "Sewer Connection and Regulation Bylaw No. 5132, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-275	THAT "Sewer Connection and Regulation Bylaw No. 5132, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-276	THAT "Sewer Connection and Regulation Bylaw No. 5132, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-277	THAT "Solid Waste Collection and Disposal Bylaw No. 5120-1, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-278	THAT "Solid Waste Collection and Disposal Bylaw No. 5120-1, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-279	THAT "Solid Waste Collection and Disposal Bylaw No. 5120-1, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-280	THAT "Fees and Charges Bylaw No. 5125-1, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-281	THAT "Fees and Charges Bylaw No. 5125-1, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-282	THAT "Fees and Charges Bylaw No. 5125-1, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-283	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025", by allocating \$175,000 towards repairs of the Kitsukis Dike with funding from the Line 29911 - Contingency Funds and create the capital project, "Kitsukis Dike Repair" with a budget of \$175,000.	Finance	Financial Plan Bylaw Amendment 1 adopted July 14/25	Fall 2025	Complete
25-284	THAT "Reserve Fund Establishment Bylaw No. 5086-2, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-285	THAT "Reserve Fund Establishment Bylaw No. 5086-2, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-286	THAT "Reserve Fund Establishment Bylaw No. 5086-2, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-287	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025", by allocating \$6,375,000 towards redevelopment of Argyle Street between 1st and 3rd Avenue with funding from the General Fund, Water Infrastructure Capital Reserve and Sewer Infrastructure Capital Reserve in the amount of \$2,125,000 each in the 2026 Capital Plan.	Finance/Corp Serv	Financial Plan Bylaw Amendment 1 adopted July 14/25	Fall 2025	Complete
25-288	THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025", by allocating \$4,033,000 towards the Franklin River Road Watermain Replacement Phase 1 with funding from the Water Infrastructure Capital Reserve in the amount of \$4,033,000 for completion in 2026; AND FURTHER, THAT Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025", by allocating \$4,444,000 towards the Franklin River Road Watermain Replacement Phase 2 with funding from the Water Infrastructure Capital Reserve in the amount of \$4,444,000 for completion in 2029.	Finance/Corp Serv	Financial Plan Bylaw Amendment 1 adopted July 14/25	Fall 2025	Complete
25-289	THAT Council amend "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" as follows: i.Decrease line 19114 - Operating Funds from Prior Years \$650,000 ii.Increase line 21190 - Receptions and Other Services - \$195 iii.Decrease line 21212 - Corporate Services - \$49,500 iv.Increase line 21216 - Bylaw Enforcement - \$10,905 v.Increase line 21217 - Bylaw Enforcement Vehicles - \$130 vi.Increase line 21218 - Public Safety Building - \$640 vii.Increase line 21221 - Financial Management Administration - \$92,275 viii.Increase line 21226 - Purchasing Administration - \$6,250 ix.Increase line 21252 - City Hall - \$3,680 x.Increase line 21254 - Planning & Engineering Building - \$915 xi.Increase line 21259 - Other Common Services - \$365 xii.Increase line 21261 - Information Services - \$15,785 xiii.Increase line 22122 - Police Services Administration - \$60,090 xiv.Increase line 22160 - Police Building Maintenance - \$3,920 xv.Increase line 22180 - Detention & Custody of Prisoners - \$27,280 xvi.Increase line 22471 - Fire Building Maintenance - \$285 xvii.Increase line 22480 - Vehicle Repair & Maintenance - \$545 xviii.Increase line 22921 - Building & Plumbing Inspection - \$11,260 xix.Increase line 23110 - Engineering Administration - \$21,060 xx.Increase line 23129 - Clerical & Reception-Operation - \$5,490 xxi.Increase line 23134 - Small Tools/Equipment/Supplies - \$160 xxii.Increase line 23136 - Works Yard Maintenance - \$3,555 xxiii.Increase line 23137 - Main Building Maintenance - \$2,235	Finance/Corp Serv	Financial Plan Bylaw Amendment 1 adopted July 14/25	Fall 2025	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
	xxiv.Increase line 23138 - Shop Overhead - \$2,630 xxv.Increase line 23160 - General Equipment Maintenance - \$9,930 xxvi.Increase line 23161 - Vehicle Maintenance & Replacement - \$290 xxvii.Increase line 23205 – Supv. Vehicle Mtce. & Replacement - \$3,215 xxviii.Increase line 23220 - Streets Inspections - \$2,495 xxix.Increase line 23231 - Roadway Surfaces Maintenance - \$13,345 xxx.Increase line 23233 - Road Allowance Maintenance - \$12,885 xxxi.Increase line 23236 - Street Sweeping - \$3,450 xxxii.Increase line 23237 - Snow & Ice Removal - \$3,610 xxxiii.Increase line 23241 - Bridges & Engineered Structures - \$120 xxxiv.Increase line 23250 - Overhead & Decorative Lighting - \$930 xxxv.Increase line 23261 - Signs & Traffic Marking - \$4,795 xxxvi.Increase line 23272 - Off-Street Parking - \$320 xxxvii.Increase line 23291 - Gravel - \$1,235 xxxviii.Increase line 23311 - Ditch, Creek & Dyke Maintenance - \$4,095 xxxix.Increase line 23331 - Storm Sewer Maintenance - \$4,940 xl.Increase line 23333 - Storm Sewer Lift Station - \$780 xli.Increase line 23335 - Storm Sewer Connections - \$1,985 xlii.Increase line 23881 - Training Program - \$2,220 xliiii.Increase line 23882 - Safety - \$1,825 xliv.Increase line 23884 - Special Streets Work Orders \$355 xlv.Increase line 24320 - Residential Waste Collection - \$17,030 xlvi.Increase line 24322 - Solid Waste Containers Purchase & Mtce. - \$1,975 xlvii.Increase line 25161 - Cemetery Maintenance - \$525 xlviii.Increase line 25162 – Interments - \$1,645				

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
	xlix.Increase line 25163 - Memorial Marker Installation - \$905 l.Increase line 26129 - Planning Administration - \$15,085 li.Increase line 26235 - Economic Development - \$285 lii.Increase line 26770 - Harbour Quay - Buildings Maintenance - \$2,765 liii.Increase line 27110 - Parks, Recreation & Heritage Mgmt. Serv. - \$13,935 liv.Increase line 27120 - Gyro Youth Centre Maintenance - \$1,510 lv.Increase line 27128 - Glenwood Centre Maintenance - \$1,680 lvi.Increase line 27129 - Bob Dailey Stadium - \$205 lvii.Increase line 27130 - Echo Activity Centre Maintenance - \$11,285 lviii.Increase line 27134 - Echo Aquatic Maintenance - \$15,365 lix.Increase line 27140 - AV Multiplex Concessions - \$6,590 lx.Increase line 27142 - AV Multiplex Skate Shop - \$1,270 lxi.Increase line 27144 - AV Multiplex Maintenance - \$33,225 lxii.Increase line 27146 - Parks Building & Fieldhouses - \$2,545 lxiii.Increase line 27148 - Echo Park Field House - \$2,030 lxiv.Increase line 27156 - Glenwood Centre Programs - \$3,150 lxv.Increase line 27160 - Echo Aquatic Programs - \$38,065 lxvi.Increase line 27163 - AV Multiplex Programs - \$6,970 lxvii.Increase line 27166 - Leisure Service Programs - \$11,985 lxviii.Increase line 27173 - Children's Programs - \$11,490 lxix.Increase line 27180 - Adult Programs - \$1,440 lxx.Increase line 27190 - Special Events - \$785 lxxi.Increase line 27198 - Vehicle Maintenance & Repair - \$320 lxxii.Increase line 27210 - Parks & Facility Management Services - \$235 lxxiii.Increase line 27215 - Parks Maintenance - \$33,545				

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
	lxxiv.Increase line 27220 - Horticultural Services - \$10,930 lxxv.Increase line 27225 - Vehicles & Equipment Mtce. & Repair - \$3,195 lxxvi.Increase line 27530 - Parks Upgrading - \$250 lxxvii.Increase line 27510 - Museum Services - \$5,310 lxxviii.Increase line 27515 - Museum Programs - Curatorial - \$6,340 lxxix.Increase line 27530 - Industrial Collections - \$215 lxxx.Increase line 27550 - Museum Maintenance - \$2,205 lxxxi.Increase line 27710 - McLean Mill City Operations - \$390 lxxxii.Decrease line 28211 - Transfers to Reserve - Asset Management - \$1,100,000 lxxxiii.Decrease line 29911 - Contingency Funds - \$110,000 lxxxiv.Increase line 64110 - Water Administration & Other - \$10,400 lxxxv.Increase line 64141 - Supply Inspection & Operation - \$4,385 lxxxvi.Increase line 64161 - Pumping Inspection & Operation - \$5,240 lxxxvii.Increase line 64181 - Transmission/Distribution System - \$9,750 lxxxviii.Increase line 64185 - Meters - \$6,090 lxxxix.Increase line 64187 - Hydrants - \$1,745 xc.Decrease line 68220 - Transfers to Water Capital Fund - \$37,610 xci.Increase line 104210 - Sewer Administration & Other - \$6,085 xcii.Increase line 104240 - Sewage Collection System Main - \$3,210 xciii.Increase line 104241 - Sewer Service Connections - \$5,270 xciv.Increase line 104260 - Sewage Lift Stations - \$4,935 xcv.Increase line 104280 - Sewage Treatment - \$4,820 xcvi.Decrease line 108220 - Transfer to Sewer Capital Fund - \$24,320				
	xcvi.Move line '21226 - Purchasing Administration' from 'Financial Management' to 'Public Works Administration'. xcvi.Add 'Multiplex Chiller Rental and Installation' to the 2025 Capital Plan with funding sourced from the Parks and Recreation Reserve in the amount of \$285,000. xcix.Consolidate the Burde Street Renewal under one project totalling \$2,481,700 under Paving & Road Construction. c.Add \$3,000 to 'Welcome Sign' to have the total of \$40,000 for the project as previously directed by Council. ci.Amend the Master Plan allocations for Growing Communities Fund (previously directed by Council); a.Fire Services Master Plan - \$100,000; b.Parks, Recreation & Culture Master Plan (incl. Facilities Condition Assessments) - \$326,000; c.Stormwater & Combined Sewer Overflow Master Plan - \$200,000; d.Transportation Master Plan - \$250,000; e.Watershed Protection Plan - \$50,000; f.Development Cost Charges - \$124,000 cii.Add the annual budget for Amortization in a schedule within the 'Financial Plan'. ciii.Capital Plan - Remove 23055 - 'Burde Street - 11th Ave to Estevan 650m - Development related' - \$160,000. civ.Capital Plan - Remove 'Replace 2005 VOLVO TANDEM GRAVEL TRUCK #264' from ERRF in 2028. cv.Capital Plan - Remove project 24102 - 'CSO - 3rd Avenue Storm' - \$72,311.				

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
	cvi.Capital Plan - Remove project 24103 - CSO - Burde St - 9th to North Park - \$1,242,000. cvii.Capital Plan - Reduce 'McLean Mill Capital Projects - John Dam Priority report' by \$60,000 in 2025 and in future years. cviii.Add 'Train Station Ventilation - \$50,000' to the Capital listing in the 2025 Capital Plan. cix.Increase line 22121 - Police Contract Services: •add \$271,093 (0.75%) in 2026; •add \$299,071 in 2027; •Add \$260,332 in 2028; and •Add \$116,423 in 2029. cx.Add new line to "TRANSFERS TO RESERVE ALLOWANCES" - 28211 – To Water Infrastructure Reserve (PW roof) – add \$241,000.				
25-290	THAT the "City of Port Alberni 2025-2029 Financial Plan Amendment Bylaw No. 5123-1, 2025" be now introduced and read a first time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-291	THAT "City of Port Alberni 2025-2029 Financial Plan Amendment Bylaw No. 5123-1, 2025" be read a second time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-292	THAT "City of Port Alberni 2025-2029 Financial Plan Amendment Bylaw No. 5123-1, 2025" be read a third time.	Corp Serv	Corporate Services to apply reading to Bylaw	24-Jun-25	Complete
25-293	THAT Council receive the June 23, 2025 correspondence summary as information.	n/a	n/a	n/a	n/a
25-294	THAT the Council reports outlining recent meetings and events related to the City's business be received as information.	n/a	n/a	n/a	n/a
25-295	THAT Council authorize staff to submit an application for the 2025 UBCM Strategic Priorities Fund - Capital Infrastructure Stream for the Argyle 1st to 3rd Avenue Redevelopment Project and, therefore commits to the City of Port Alberni providing overall grant management and supporting any potential cost overruns associated with the project.	Infr Serv/Corp Serv/Finance	Corporate Services to prepare certified resolution and distribute. Infr Services/Finance to prepare application	24-Jun-25	Complete
25-296	THAT Council authorize staff to submit an application for the 2025 UBCM Strategic Priorities Fund - Capacity Building Stream for the development of a Community Safety and Well-Being Strategy and therefore commits to the City of Port Alberni providing overall grant management and supporting any potential cost overruns associated with the project.	Infr Serv/Corp Serv/Finance	Corporate Services to prepare certified resolution and distribute. Infr Services/Finance to prepare application	24-Jun-25	Complete
25-297	THAT Council amend the motion to include 'with preference given to repair the back deck of the viewing platform'.	n/a	n/a	n/a	n/a
25-298	THAT Council direct Administration to complete safety upgrades to the McLean Mill National Historic Site for \$50,000 with funding from the McLean Mill Reserve with preference given to repair the back deck of the viewing platform.	PRC/Finance	PRC to commence safety upgrades	Fall 2025	Complete
25-299	THAT Council approve Municipal Alcohol Policy No. 3002-9.	Corp Serv	Corporate Services to apply signatures	24-Jun-25	Complete
25-300	THAT Council approve in principle the proposed artwork for a feature wall at the Multiplex and direct Administration to develop an agreement with the Alberni Valley Bulldogs regarding its ownership, installation and maintenance.	PRC/Corp Serv	PRC to prepare agreement	Q3 2025	
25-301	THAT Council for the City of Port Alberni endorse the Annual Report for the year ended December 31, 2024, as presented.	Corp Serv	Post to website and Comms to distribute via various outreach tools	30-Jun-25	Complete

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-302	THAT Council approve the statements and schedules included in the 2024 Statement of Financial Information, prepared to comply with the Financial Information Act, as outlined in the report from the Director of Finance dated June 16, 2025.	n/a	n/a	n/a	n/a
25-303	THAT Council receive the “2024 Reserve Balances & Commitments” report dated June 16, 2025 as information.	n/a	n/a	n/a	n/a
25-304	<p>THAT Council direct Administration to schedule meetings at the 2025 UBCM Convention with Ministers and Ministry staff, based on the topics outlined in the staff report “UBCM Minister Meeting Requests” dated June 23, 2025, in the following order:</p> <p>Minister Meetings</p> <ol style="list-style-type: none"> <li>1.Ministry of Forests</li> <li>2.Ministry of Housing and Municipal Affairs</li> <li>3.Ministry of Tourism, Arts, Culture and Sport</li> <li>4.Ministry of Emergency Management and Climate Readiness</li> <li>5.Ministry of Health</li> <li>6.Ministry of Public Safety and Solicitor General</li> <li>7.Ministry of Jobs, Economic Development and Innovation</li> <li>8.Ministry of Post-Secondary Education and Future Skills</li> <li>9.Ministry of Social Development and Poverty Reduction</li> <li>10.Ministry of Transportation and Transit</li> <li>11.Ministry of Water, Land, and Resource Stewardship</li> <li>12.Ministry of Education and Childcare</li> </ol> <p>Ministries, Agencies, Commissions and Corporations Meetings [Staff]</p> <ol style="list-style-type: none"> <li>1.Ministry of Forests</li> <li>2.Ministry of Housing and Municipal Affairs</li> <li>3.Ministry of Public Safety and Solicitor General</li> <li>4.Ministry of Health (incl. Island Health and Provincial Health Services Authority)</li> <li>5.Ministry of Social Development and Poverty Reduction</li> <li>6.BC Emergency Health Services</li> </ol>	EA/Corp Serv	EA to coordinate	30-Jun-25	Complete
25-305	THAT Council support the application to the UBCM 2025 Next Generation 911 (NG911) program in the amount of \$66,379.	Finance/Fire	Corporate Services to prepare a certified resolution and distribute	30-Jun-25	Complete
25-306	<p>THAT Council approve the deaccessioning and disposal of the following items from the permanent collection of the Alberni Valley Museum:</p> <ul style="list-style-type: none"> <li>·Winchester Model 1897 Pump-Action 12-Gauge Shotgun (Acc. No. 1971.80.2)</li> <li>·Savage Model 1899 Lever Action Rifle “Smokeless Steel” (Acc. No. 1976.26.1)</li> <li>·Ithaca Hammerless Double Barrel 12-Gauge Shotgun (Acc. No. 1976.27.1)</li> <li>·Large Rifle Gun Case (un-accessioned storage unit)</li> </ul>	PRC	Manager of Culture to arrange disposal	Sept. 2025	Complete
<b>RCM July 14, 2025</b>					
25-307	THAT Council receive the Q2 Quarterly Report from the Economic Development department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-308	THAT Council receive the Q2 Quarterly Report from the Finance department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-309	THAT Council receive the Q2 Quarterly Report from the Human Resources department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-310	THAT Council receive the Q2 Quarterly Report from the Infrastructure Services department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a

**City of Port Alberni  
2025 Summary of Council Resolutions**

NO.	RESOLUTION	ASSIGNED	ACTION	TARGET DATE	STATUS
25-311	THAT Council receive the Q2 Quarterly Report from the Parks department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-312	THAT Council receive the Q2 Quarterly Report from the Recreation department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-313	THAT Council receive the Q2 Quarterly Report from the Facilities department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-314	THAT Council receive the Q2 Quarterly Report from the Culture department for the period April 1, 2025 – June 30, 2025 as information.	n/a	n/a	n/a	n/a
25-315	THAT Council receive the report '2nd Quarter - 2025 Procurement Summary' dated July 4, 2025 as information.	n/a	n/a	n/a	n/a
25-316	THAT "Waterworks Bylaw No. 5131, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5131.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-317	THAT "Sewer Connection and Regulation Bylaw No. 5132, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5132.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-318	THAT "Solid Waste Collection and Disposal Bylaw No. 5120-1, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5120-1.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-319	THAT "Reserve Fund Establishment Bylaw No. 5086-2, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5086-2.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-320	THAT Council direct staff to amend "Fees & Charges Bylaw No. 5125, 2025" to include a clause stating that applicable fees and charges are either those set out in the Fees and Charges Bylaw or as set out in the terms and conditions of contracts with third parties.	Finance	Corporate Services to amend Bylaw	15-Jul-25	Complete
25-321	THAT Council direct staff to investigate the inclusion of commercial/for-profit rental rates for City recreational properties in the Fees & Charges Bylaw.	PRC	staff to provide report	Q3 2025	
25-322	THAT third reading of "Fees and Charges Amendment Bylaw No. 5125-1, 2025" be rescinded.	Corp Serv	Corporate Services to amend Bylaw	15-Jul-25	Complete
25-323	THAT "Fees and Charges Amendment Bylaw No. 5125-1, 2025" be read a third time, as amended.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-324	THAT "City of Port Alberni 2025-2029 Financial Plan Amendment Bylaw No. 5123-1, 2025" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5123-1.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-325	THAT "Official Community Plan Amendment (3830 5th Avenue) Bylaw No. 5094" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5094.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-326	THAT "Zoning Bylaw Amendment (3830 5th Avenue) Bylaw No. 5113" be now finally adopted, signed by the Mayor and Corporate Officer and numbered 5113.	Corp Serv	Corporate Services to apply reading to Bylaw	15-Jul-25	Complete
25-327	THAT the minutes of the Public Hearing on September 9, 2024 regarding Official Community Plan Amendment Bylaw No. 5094 and Zoning Amendment Bylaw No. 5113, be adopted as presented.	Dev Serv/Corp Serv/Finance	Corporate Services to prepare for signature and file	15-Jul-25	Complete
25-328	THAT Council receive the letter from the Port Alberni International Twinning Society as information.	n/a	n/a	n/a	n/a
25-329	THAT Council on behalf of Island Kids Cancer Association proclaim the month of September 2025 as 'Childhood Cancer Awareness Month' in Port Alberni.	Corp Serv	Corp Services to prepare letter and distribute	15-Jul-25	Complete
25-330	THAT Council receive the Council Correspondence Summary as information.	n/a	n/a	n/a	n/a
25-331	THAT Council receive the Transportation Master Plan Public Engagement Results report dated June 18, 2025, as information.	n/a	n/a	n/a	n/a
25-332	THAT Council direct Administration to conduct a review of the Audit Committee Terms of Reference.	Finance/Corp Serv	Review and amend ToR and report back to Council	Q3 2025	



OUTSTANDING RESOLUTIONS

AS OF JULY 23, 2025

MOT #	MEETING DATE	RESOLUTION	ASSIGNED [Dept.]	Action	Target Date	Status
2022						
R22-2	January 17, 2022	THAT Council direct staff to bring forward a report for Council’s consideration of potential amendments to the City of Port Alberni Nuisance Abatement Bylaw that may enable the City to regulate cannabis related odour complaints.	Community Safety/Corp Serv	Report highlighting proposed amendments to Bylaw in addition to addressing odour for Council's review prior to preparing amending bylaw.	Q1 2026	
2023						
R23-67	March 13, 2023	THAT Council direct staff to prepare a report outlining costs and implications related to the potential name change of Neill Street, which commemorates Alan Webster Neill.	Corp Serv/Dev Serv	Development Services and Corporate Services to prepare report	Q1 2026	
R23-69	March 13, 2023	THAT Council direct staff to prepare a report addressing the Tseshaht First Nation   26 Calls for Truth and Justice.	Corp Serv	Corporate Services to prepare report	Q1 2026	
R23-98	March 27, 2023	THAT Council direct staff to prepare a Bylaw to permit encroachment on City streets and sidewalks for the purpose of operating a patio.	Corp Serv/Dev Serv	Development Services and other associated departments to prepare bylaw	Q1 2026	
R23-241	July 10, 2023	THAT Council direct staff to prepare a report outlining the formulation of water and sewer user consumption rates.	Finance/Eng/PW	Finance to prepare report	Q1 2026	Pending Master Plan completion
2024						
R24-69	February 12, 2024	THAT Council begin the process of engaging with Dontay’s family to find a space dedicated to celebrating Dontay Lucas’ life.	PRC/Corp Serv	PRC to coordinate	February 13, 2024	Met with family in 2024. Family will contact City when ready
R24-137	March 11, 2024	THAT Council direct administration to increase fees for utility service connections to bring them in alignment with comparable sized municipalities on Vancouver Island as outlined in the report ‘Fees and Charges   Engineering and Public Works’ dated February 26, 2024;  AND FURTHER THAT staff review “Fees and Charges Bylaw, 2007, Bylaw No. 4665” and where required, make the necessary rate amendments to ensure full cost recovery.	Corp Serv/Eng/PW/Finance	Finance to increase fees for utility service connections and review Bylaw to make the necessary rate amendments	Q1 2026	Pending Master Plan completion
R24-138	March 11, 2024	THAT Council direct administration to review the overall utility service connection application process, and to investigate requirements to include estimates and actual costs of construction for the fees charged.	Corp Serv/Eng/PW/Finance	Engineering/PW to review and prepare report	Q3 2025	Application pending for grant funding to utilize a consultant
R24-139	March 11, 2024	THAT Council direct administration to update the Development Cost Charges Bylaw and further, establish a Community Amenity Charges Bylaw in alignment and as informed by the Official Community Plan update and Master Plan process.	Dev Serv/Finance	Development Services/Finance to prepare for Council consideration	Q4 2026	Pending completion of OCP and Master Plans. Funds budgeted for consultant to assist with work
R24-245	June 24, 2024	THAT Council for the City of Port Alberni issue a Request for Proposals for a third-party to manage the lease agreements at Harbour Quay with costs to come out of Harbour Quay lease revenue.	Econ Dev/Corp Serv/Finance	Finance to work with Economic Development to prepare RFP	Q4 2025	

OUTSTANDING RESOLUTIONS

AS OF JULY 23, 2025

MOT #	MEETING DATE	RESOLUTION	ASSIGNED [Dept.]	Action	Target Date	Status
R24-280	August 12, 2024	THAT Council for the City of Port Alberni direct staff to develop City-wide park, memorial and pedestrian bench standards including a placement strategy associated with a needs analysis.	Eng/PW	Engineering to prepare a report	Q4 2025	

# POLICY No. 3002-8 | VOLUNTEER POLICY

Approved: April 28, 2025

Resolution No.: 25-234

Date of Last Review:

CITY OF  
PORT ALBERNI



## 1. PURPOSE

The City of Port Alberni has created this policy to provide guidance and support for a safe, meaningful, and productive volunteer experience, recognizing the essential role that volunteers play in building a vibrant community.

## 2. POLICY STATEMENT

The City values its volunteers, believing that volunteerism promotes active citizen engagement, strengthens community responsibility, and enhances the overall quality of life.

## 3. SCOPE AND APPLICATION

This policy applies to all individuals who volunteer with the City of Port Alberni.

## 4. DEFINITIONS

In this Policy unless the context otherwise requires:

**“Supervisor”** is the city employee designated to provide oversight and instruction to City volunteers.

**“Volunteer”** means anyone who offers time, energy, and skills of their own free will for the mutual benefit of the volunteer and the organization. Volunteers work without financial compensation, or the expectation of financial compensation beyond an agreed-upon reimbursement for expenses.

**“Volunteer Handbook”** is a document prepared and used by the City providing an overview of the City and general guidelines for volunteer roles.

## 5. POLICY

### 5.1 Application Process

- Volunteer applicants will be required to follow an application process.
- For some volunteer positions, Police Information Checks may be required for volunteers.
- It is not intended that volunteers displace City employees.
- Volunteers may choose to end their involvement with, or may be asked to end their involvement with, the City at any time without reason.

### 5.2 Roles and Responsibilities

City volunteers actively participate in assigned placements with the City under the oversight of a City Supervisor.

City volunteers must comply with all applicable City policies and procedures and are required to carry out assigned functions as directed by the Supervisor.

Supervisors will ensure that City volunteers receive required training, orientation, and documentation applicable to their placement with the City. They will also ensure that City volunteers comply and adhere to all applicable policies and procedures.



### 5.3 Safety

The City of Port Alberni is committed to promoting a safe and healthy environment for volunteers. Supervisors will provide training to City volunteers to identify and address potential hazards of their placement. City volunteers are expected to follow safe work procedures and practices as directed by the Supervisor, such as following the City's Occupational Health and Safety Policy or any other policies that may apply.

It is mandatory for City volunteers to complete safety training before commencing any volunteer role.

City volunteers are covered by the City's Liability Protection Agreement with Municipal Insurance Association of BC (MIABC). Volunteers who participate in the delivery of the services for the City are covered when the services are provided under the supervision of an officer or employee for the City.

City volunteers are required to take all reasonable steps for their own health and safety and the safety of those around them. City volunteers will follow safe procedures, identify and report potential hazards or unsafe actions to their Supervisor. City volunteers have the right to:

- Refuse unsafe work;
- Participate in health and safety-related activities; and
- Know the hazards relevant to their placement.

### 5.4 Conduct

City volunteers are required to act in accordance with City policies regulating conduct and are expected to:

- a. Act lawfully;
- b. Be free from undue influence and not act, or appear to act, in order to gain financial or other benefits for themselves, family, friends, or business interests;
- c. Report for shift fit for duty and able to perform their assigned tasks safely and without any limitation due to the use or after effects of:
  - Legal alcohol or drugs
  - Illegal drugs
  - Prescription drugs
  - Over-the-counter medications
  - Any other substance that may impair judgement or performance
  - Fatigue
- d. Follow the letter and spirit of City policies and procedures;
- e. Treat people with courtesy and respect;
- f. Promote inclusivity and respect for diversity in all interactions with community members and fellow volunteers;
- g. Follow the direction of and defer to their Supervisor; and
- h. Maintain the confidentiality of the City and personal information.

### 5.5 Training


City volunteers will receive and complete an on-boarding orientation with their Supervisor. Every City volunteer will receive the City's *Volunteer Handbook* and will complete an orientation. Onboarding may be done one-on-one or in a large volunteer group.

Supervisors are required to provide adequate orientation and training specific to work sites. This type of training could include, but is not limited to, specific skills training related to the volunteer opportunity, customer services training, handling challenging situations, WHMIS, safety procedures and child protection training.



## 5.6 Recognition and Benefits

City volunteers will have opportunities to engage in meaningful volunteer placements. With the support and guidance of City departments, feedback and opportunities for growth will be provided where appropriate. City volunteer placements are unpaid and do not receive any form of monetary or value-based compensation. Other forms of recognition may be offered from time to time.



for: Sharie Minions  
Mayor



Sara Darling  
Director of Corporate Services



# POLICY No. 3002-9 | Municipal Alcohol Policy

Approved: June 23, 2025

Resolution No.: 25-299

Date of Last Review:

CITY OF  
PORT ALBERNI



## 1. PURPOSE

- 1.1 The purpose of this Municipal Alcohol Policy is to mitigate potential harms associated with public events serving alcohol and to foster an inclusive environment for all attendees on public property.

This policy is based on the following foundational principles of responsible alcohol use:

- Community Health and Safety
- Inclusivity

## 2. POLICY STATEMENT

- 2.1 The City of Port Alberni is committed to ensuring a safe, healthy, and enjoyable environment for all residents, employees, and visitors. This alcohol policy establishes clear guidelines and regulations regarding the consumption and distribution of alcohol in public spaces within our community.

### Purpose of the Alcohol Policy:

1. **Promoting Safety:** Alcohol consumption can impair judgment and coordination, potentially leading to accidents and injuries. By creating clear guidelines, we aim to minimize the risk of alcohol-related incidents and protect the safety of everyone in our community.
2. **Supporting Health:** As alcohol consumption increases so do harms to individuals, social networks and the larger community. Recognizing the correlation between increased alcohol consumption and social harm, our policy seeks to mitigate these risks by managing alcohol use at events.
3. **Ensuring Compliance:** This policy enables adherence to local, provincial, and federal alcohol regulations, ensuring responsible sale and distribution in public spaces.
4. **Fostering Community Well-being:** A clearly defined alcohol policy enhances overall community health by promoting responsible behavior and reducing the negative impacts of alcohol. This policy also aligns with our goal of modeling positive social interactions for children and youth.

The City of Port Alberni is dedicated to creating a safe and inclusive community, and this alcohol policy is a crucial step in that direction.



### 3. SCOPE AND APPLICATION

- 3.1 The Municipal Alcohol Policy (MAP) applies to public events occurring on municipal property that have applied to serve alcohol in accordance with the regulations set forth by the Liquor and Cannabis Regulation Branch.

### 4. DEFINITIONS

- 4.1 Private Events vs. Public Events – NOTE: These definitions are assigned and governed by the Provincial Liquor and Cannabis Regulation Branch and may be subject to change.
- **Public Event:** An event in which anyone may attend, either by obtaining a ticket at the door or by entering the event location AND/OR advertising the presence of liquor at the event in any form of media (print, digital, etc.).
  - **Private Event:** An event in which attendance is limited to invited guests, members and staff of an organization, or persons who have bought or received advance tickets. Tickets at these events cannot be sold at the door. Private events include weddings, birthdays, anniversaries, retirements, memorials, etc.

### 5. AUTHORITY TO ACT

- 5.1 Authority to Approve Applications:
- a) Public events serving alcohol on a municipally-owned property require approval from the City of Port Alberni Council to qualify for a Special Event Permit from the provincial Liquor and Cannabis Regulation Branch.
  - b) The City of Port Alberni Council is responsible for approving the use of municipally-owned property including recreation centres, halls, sports arenas, fields, parks, beaches and trails.

### 6. PREVENTION STRATEGIES

- 6.1 Events serving alcohol must adhere to the following strategies to ensure community health and safety:
- a) **Signage and Marketing Materials:** All marketing materials must clearly indicate whether alcohol will be served. Signage will also include risks to the fetus if drinking while pregnant. Adequate signage must be posted at the event as delineated in *Appendix 1*.  
**Rationale – Inclusivity:** Providing clear information about alcohol availability allows attendees to make informed decisions and contributes to a safer and more inclusive environment.
  - b) **Safe Transportation Program:** Event organizers must implement a transportation plan ensuring attendee can leave safely. This may include shuttles, volunteer drivers, or promoting alternative transport options (taxis, buses, ridesharing).  
**Rationale – Community Health and Safety:** Organizers have a duty of care to prevent attendees from driving under the influence.
  - c) **Elimination of “Last Call”:** Announcements indicating a bar's closing time, such as "last call," are prohibited. Entertainment personnel must be informed accordingly.  
**Rationale – Community Health and Safety:** Such announcements can lead to binge drinking, increasing the risks of impaired driving and related incidents.
  - d) **Drink Ticket Stations:** Events must provide a designated area for purchasing drink tickets, distinct from the bar area. All servers should possess "Serving It Right" certification.



**Rationale – Community Health and Safety:** This approach helps control alcohol consumption rates and allows staff to monitor patrons' sobriety.

- e) **Separate Stations for Non-Alcoholic Drinks:** Events must have at least one separate station for non-alcoholic drinks, distinct from the bar area.

**Rationale – Community Health and Safety:** Easy access to non-alcoholic options promotes hydration and ensures a welcoming environment for those choosing not to consume alcohol.

- f) **Event Security Plans:** Event applications must include a security plan detailing the event layout and contact information for security personnel, along with strategies for addressing potential concerns.

The size, scale and scope of a Security Plan will be dependent on the size and type of event. For example, large public events may require a more detailed plan with regard to potential concerns such as violence, intoxicated persons or unauthorized guests, whereas small private events, such as weddings, may necessitate simpler strategies. City staff will assist applicants to ensure their plans are sufficient.

**Rationale – Community Health and Safety:** A proactive security plan ensures the safety and well-being of all attendees and aids event organizers in addressing safety issues.

- g) **Notification to Responding Agencies:** For events with more than 100 attendees, permit holders must notify local emergency agencies (RCMP, West Coast General Hospital, and BCEHS) in advance.

**Rationale – Community Health and Safety:** Early notification facilitates better planning and availability of emergency services during peak times.

## 7. INSURANCE

- 7.1 Event Organizers must purchase Special Event liability insurance that indemnifies the City of Port Alberni from any and all claims in connection with an event involving alcohol service on Municipal property. The insurance must name the City of Port Alberni as additionally insured. The insurance policy must specifically name that alcohol will be served, include information regarding alcohol service, and identify the name and date of the event. Special Events require a minimum of \$5 million in liability insurance, unless otherwise specified by the City and a deductible of no more than \$10,000. Original proof of purchase must be provided to the Corporate Officer at least 7 business days prior to the event. Minimum insurance requirements and provisions may be amended at any time at the absolute discretion of the City of Port Alberni.



Sharie Minions  
Mayor



Sara Darling  
Corporate Officer



**Municipal Alcohol Policy – Events**  
**Appendix 1: Event Signage List**

All signage must be appropriately sized and placed at eye level in legible font and colors. If the majority of participants do not read English, signs must be translated into the dominant language.

In addition to legal requirements, event organizers must display the following information near each bar area:

- Legal drinking age in British Columbia is 19. Individuals under this age cannot consume alcohol.
- Proof of age identification may be requested for individuals who appear under 25.
- A maximum of two drinks may be served to each individual at any one time.
- It is illegal to serve alcohol to anyone who is intoxicated.
- Alcohol sales will cease one-half hour before bar closure; no "last call" will be made.
- Patrons are encouraged to use designated drivers or alternative transportation options for safe travel.
- Restricted areas for alcohol consumption must be clearly marked (i.e., "No Alcohol Beyond This Point").
- A warning about the risks of alcohol consumption during pregnancy.
- The Chief Medical Health Officer advises alcohol can cause cancer including breast and colon cancer.
- Contact information for local support services related to substance abuse including but not limited to Port Alberni Mental Health and Substance Use and the Kuu-us Crisis Line Society.

# ALBERNI VALLEY CONTINUUM OF CARE COALITION

## ASSET MAP OF SERVICES JULY 2024-2025

Basic Needs - Existing Services	Basic Needs – Gaps in Services
<ul style="list-style-type: none"> <li>• ACRD - Basic supports during emergency (food, clothing, lodging)</li> <li>• ADAPS - youth food bags, hygiene, youth enhancement funding</li> <li>• Community Health Services (CHS) - Resource advocacy Psychosocial support</li> <li>• CMHA Outreach - Support to youth aging out of MCFD services, 14,000 meals out of clubhouse and frozen meals, welcome home kits, hygiene, advocacy for finances, 109 housing units</li> <li>• Kuu-Us – emergency hampers, clothing, hygiene, furniture, gift cards etc.</li> <li>• MSDPR - Underage application for Disability and social assistance, Income/Disability assistance, crisis \$\$ for food/shelter/clothing / furniture/utilities</li> <li>• PAFD – Public Safety</li> <li>• Port Alberni Backpack program - program operates from the United Church on Church Street to provide nutritious food on weekends for families living on or below the poverty line who reside in the Dunn and Maquinna School catchment area(s)</li> <li>• Sage Haven Society – Drop in center personal care needs, clothing, basic necessities</li> <li>• The Salvation Army - Milk for Kids Program. Families can register their children in this program, which provides one litre of milk per week, per child. They also have a Baby Formula program for newborns and infants. Food hampers, food bank, shelter, meals, kitchen, clothing, hygiene, showers, etc.</li> </ul>	<ul style="list-style-type: none"> <li>• Youth and young adults shelter &amp; housing, student &amp; young adult housing with or without supports</li> <li>• Transitional Protocols</li> <li>• Sustainable funding to access basic needs</li> <li>• Ongoing secured funding</li> <li>• Housing First</li> <li>• Zero barrier supported housing</li> </ul>

Community Safety - Existing Services	Community Safety – Gaps in Services
<ul style="list-style-type: none"> <li>• ACRD – Disaster Risk, Emergency Response, and EM Preparedness</li> <li>• ADAPS – Youth safe space, and safety pop ups</li> <li>• Alberni Valley Hospice Society – Child and Youth Grief Counselling</li> <li>• Bylaw Services – bylaws, safety issues in the city</li> <li>• Community Corrections – Supervision of individual subject to a court or police order. Provide Cognitive Behaviour Therapy (CBT) to medium and high-risk offenders, Programs for misuse, intimate partner violence, sexually motivated offenders and women. Referrals to other agencies for counselling housing, and other supports.</li> <li>• CPA Community Safety &amp; Social Development – convene, facilitate, coordinator and advocate, leverage council support, advocate to other levels of government</li> <li>• CPA –Community Policing – Crime Watch, Block Watch, CPTED</li> <li>• PAFD – Medical &amp; 1st response, inspections, assisting Bylaw</li> <li>• RCMP – Policing services to ACRD and CPA, assisting with mental health calls, substance use, child and youth, etc.</li> <li>• Restorative Justice - Referrals from criminal justice organizations for Alternative Criminal Justice facilitation; circle education to teachers, administrators and classrooms via the schools and the Teacher's Union; alternative approaches to student and teacher disciplinary matters; recovery process through support agencies to address outstanding legal issues; support for victims of crime and conflict in a way that helps to resolve/improve their anxiety/fear/trepidation that is often a result of crime.</li> <li>• Repeat Violent Offending Intervention Initiative (ReVOII) - through Legal Aid</li> <li>• Sage Haven Society – Victim Services, drop-in centre, sexual assault response services, safe homes</li> <li>• The Salvation Army – Shelter, Safe space 24/7</li> </ul>	<ul style="list-style-type: none"> <li>• Critical Incident Response</li> <li>• Ease of access and application referrals</li> <li>• Integrated Response team</li> <li>• Lack of follow-up in legal system (police, courts, etc.)</li> <li>• Access to 24/7 services</li> <li>• Peer support workers – education and support</li> <li>• Navigators</li> <li>• Lack of timely detox services</li> <li>• CAR 54 Mental Health partners with police</li> <li>• Accessible Employment (low level skills, lack of higher education)</li> <li>• Supportive housing</li> <li>• Transportation for people in need</li> <li>• Shared phone for outreach 24/7</li> </ul>

Education - Existing Services	Education – Gaps in Services
<ul style="list-style-type: none"> <li>• Island Health - Public Health - Strong Start for caregivers and for 0-5 years of age</li> <li>• Island Health - Outreach Therapy - focus is on providing developmental pediatric health care services, core services include Physiotherapy, Occupational Therapy and Early Childhood Mental Health</li> </ul>	<ul style="list-style-type: none"> <li>• Education to community about services available</li> <li>• Transitional Protocols</li> <li>• Access to supports/screening</li> </ul>

Health - Existing Services	Health– Gaps in Services
<ul style="list-style-type: none"> <li>• Alberni-Clayoquot Continuing Care Society - Echo Village, Fir Park Village, Recreation activities</li> <li>• Alberni Natural Health Group - physio, RMT, naturopath, counselling, fee-for service, team-based approach to care</li> <li>• BC Emergency Health Services (BCEHS) - Medical emergency intervention, care, transportation, 1<sup>st</sup> Responder, overlaps with Mental Health and Substance Use - child and youth</li> <li>• Community Health Services - Home Support Services (CHW's), Allied Health (Rehab/Social Work), Home Care Nursing, Rapid Access Home Care Nursing, Case management, Adult Guardianship Investigations</li> <li>• IH Public Health - HOP Team - Communicable disease testing, treatment and support, health accessing health care, health doctor clinic</li> <li>• Island Health – Walk-In Clinic - Provides non-urgent medical care for people on a walk-in basis to get advice, assessment and treatment for minor illness and injuries, no appointment required</li> <li>• PAFD – BCEHS assistance</li> <li>• The Salvation Army – meals, hampers, showers, shelter, and necessities</li> </ul>	<ul style="list-style-type: none"> <li>• More availability for walk-in clinics</li> <li>• More long-term care beds</li> <li>• More primary care for vulnerable population</li> <li>• Quicker triage/processing for mental health</li> <li>• More Drs for Opioid Agonist Therapy (OAT) therapy</li> </ul>

Health and Mental Health - Existing Services	Health and Mental Health– Gaps in Services
<ul style="list-style-type: none"> <li>• ADAPS – Substance Use Counselor, Prevention Counselor, Harm Reduction, Shift Happens supportive recovery group, prevention learning events, naloxone distribution, groups, gender journeys, girls (sisters, no Cis-ters), peer support, Youth Advisory, Take a Hike, Counselling Child and Youth: 3 - 18 - Sexual Abuse, 12-21 - Youth and family, 10 - 22 Youth wellness; Youth Support, Peer support (5hrs/week), 12-19 Intensive Support, 12_19 – Prevention, 10 - 13 - Younger youth, Drop In's, Pop UP (Gyro) Fri 6 – 10, Safe Space (Echo)</li> <li>• Alberni Hospice Society – Child and Youth Grief Counselling</li> <li>• CPA Community Safety &amp; Social Development – convene, facilitate, coordinator and advocate, leverage council support, advocate to other levels of government</li> <li>• KUU-US – Provincial Indigenous Youth Crisis Line</li> <li>• Sage Haven Society – Youth Outreach Coordinator, PEACH program for kids that witness abuse</li> <li>• The Salvation Army – Youth and Child Programs, Camps, Family Supports</li> </ul>	<ul style="list-style-type: none"> <li>• Fetal Alcohol Spectrum Disorders (FASD) Diagnosis</li> <li>• Drop in with the programs</li> <li>• Low barrier wellness counselling</li> <li>• Lack of peer outreach for youth in transition</li> <li>• Youth related detox and treatment</li> <li>• Youth detox and treatment local</li> </ul>

Housing - Existing Services	Housing – Gaps in Services
<ul style="list-style-type: none"> <li>• BC Housing - Supportive housing, Supported Rent Supplement Program (SRSP), Coordinated Access and Assessment (CAA) placement meeting, Vulnerability Assessment Tool (VAT) Training:</li> <li>• Community Health Services (CHS) - Assisted Living and Long-term Care assessments/placement</li> <li>• CMHA Port Alberni - Rogers St Apartments - intake and outreach, Port House – Island Health funding 24/7 funding King George – caretaker, Kendall Apartments - staffed 7 hrs/day 7days/week, Park houses - staffed X6 Housing OR and support programs</li> <li>• CPA Community Safety &amp; Social Development – convene, facilitate, coordinator and advocate, leverage council support, advocate to other levels of government</li> <li>• Island Health - Public Health – Home Oxygen Program (HOP) Team - Vulnerability Assessment Tool (VAT) assessments</li> <li>• Kuu-Us – Indigenous specific – Four-unit transitional housing, housing placement, rental supports, housing loss prevention, housing set up. Housing First Program - offers outreach services to individuals who are homeless or are at risk of being homeless. Services include life skills and care plan development, and help with accessing basic needs, income assistance, housing, health services, and community-based services.</li> <li>• Ministry of Social Development and Poverty Reduction (MSDPR) - Income and disability assistance crisis \$ for shelter security and pet deposits</li> <li>• Port Alberni Fire Department (PAFD) - inspections, enforcement, orders</li> <li>• Port Alberni Shelter Society - food, housing, clothing, recovery programs and employment opportunities to individuals experiencing homelessness</li> <li>• Sage Haven Society - Transition House 2nd Stage Housing</li> <li>• The Salvation Army - Intake and support workers, shelter</li> </ul>	<ul style="list-style-type: none"> <li>• Housing First</li> <li>• More affordable housing</li> <li>• Family units at shelter</li> <li>• Youth shelter beds</li> <li>• Student housing</li> <li>• Youth, student, young adult housing</li> <li>• Zero barrier supported housing</li> <li>• Discrimination in housing market</li> <li>• Supportive housing for people under adult guardianship</li> <li>• Coordination of service/housing providers to transition people through the housing spectrum</li> <li>• Long term care</li> </ul>

Mental Health and Substance Use - Existing Services	Mental Health and Substance Use – Gaps in Services
<ul style="list-style-type: none"> <li>• ADAPS – Substance Use Counselor, Prevention Counselor, Harm Reduction, Shift Happens supportive recovery group, prevention learning events, naloxone distribution, Foundry Centre</li> <li>• Alberni Hospice Society – Grief Counselling</li> <li>• British Columbia Emergency Health Services (BCEHS) – Service call response, overdose reversal, ally ship, meetings, medical emergency intervention, care, transportation, 1<sup>st</sup> responder</li> <li>• CMHA PA - Open door and referrals, anti-stigma work, advocacy – systems, peer support, and harm reduction. Harm Reduction and Housing OR, Harm reduction supplies with OR Housing advocacy and navigation is substance use is affecting housing</li> <li>• Community Health Services – Client support, interagency support for clients, assisting in goal planning/overcoming barriers</li> <li>• CPA Community Safety &amp; Social Development – convene, facilitate, coordinator and advocate, leverage council support, advocate to other levels of government</li> <li>• INEO Employment Services – Employment services for youth and adults</li> <li>• Island Health – MHSU – Redford Street – Assertive Community Treatment (ACT) – nurses, social work, support workers, clients typically concurrent disorders (SU/mental health), medication management and other health and social supports, some clients under MHA, referrals through intake at Rogers St, some direct from psychiatry and hospital</li> <li>• Island Health – MHSU – Redford Street – Adult Community Support Services (ACSS) - Nurses and support workers, case management, some clients under mental health act, serious and persistent mental health issues, outreach, Psycho-social rehab, referrals from intake at Rogers street, MHSU and hospital, medication management</li> <li>• Island Health – MHSU – Intensive Outreach and Response Team (IORT) – work with unhoused and precariously housed, unconnected to other services, referrals from any source including self-referrals</li> <li>• </li> </ul>	<ul style="list-style-type: none"> <li>• Detox and treatment</li> <li>• Youth Detox and treatment locally</li> <li>• Youth related detox and treatment</li> <li>• Community stabilization beds</li> <li>• Rapid access</li> <li>• Psychiatrists and addictions doctors</li> <li>• In home supports for isolating (agoraphobic) and the symptoms</li> <li>• Accessible counselling</li> <li>• Clean up service after blatant use of substance use (foils, sharps, bodily excretions)</li> <li>• Treatment (inpatient and day programs) for people with personality disorders</li> <li>• Deconstruct stigma</li> </ul>

<b>Mental Health and Substance Use - Existing Services (Continued)</b>	<b>Mental Health and Substance Use – Gaps in Services</b>
<ul style="list-style-type: none"> <li>• Island Health – Mental Health and Substance Use (Rogers Street) – Intake for substance use counselling</li> <li>• Outreach - incl nurse prescribers for Opioid Agonist Therapy (OAT), adult short-term assessment and TX, nurses, Self-Inflicted Violence (SIV), therapists, support workers, referrals through intake, psychiatry services through community access – intake, SU Counselling and Groups through intake and therapeutic referrals, family education and support, nurses, social workers, support workers, nurse prescribers for Opioid Agonist Therapy (OAT), support for medication management, Dr appointment, medical deliveries, medical starts, case management.</li> <li>• Island Health Public Health - Harm Reduction, connecting with Dr for OAT Therapy, Naloxone education,</li> <li>• KUU-US – Wellbriety – Red Road to Recovery weekly meetings</li> <li>• PAFD – often the first point of contact, using discretion, ties to marginalized people (substance use and homelessness) meetings</li> <li>• Ministry of Social Development and Poverty Reduction - \$ for Income/disability clients for transportation to treatment, connection to services and providers</li> <li>• Sage Haven Society – referral services, counselling, psycho educational programs</li> <li>• The Salvation Army – Bread of Life, safe place, and friends, AA meetings, and referrals</li> </ul>	

<b>Recreation - Existing Services</b>	<b>Recreation – Gaps in Services</b>
<ul style="list-style-type: none"> <li>• Alberni Valley Community Foundation – grants, Vital Signs</li> <li>• CPA - Parks, Recreation and Culture - aquatic centre, fitness, kids’ programs, adult programs</li> <li>• Pacific Rim Children &amp; Families - pop up and plays, early years supports, family events</li> <li>• Port Alberni Family Directory - (recreation, activities, family assets) <a href="https://www.chooseportalberni.ca/children">https://www.chooseportalberni.ca/children</a></li> </ul>	<ul style="list-style-type: none"> <li>• Lack of community spaces for youth in housing developments</li> </ul>

Social and Community Development - Existing Services	Social and Community Development – Gaps in Services
<ul style="list-style-type: none"> <li>• ADAPS – Peer Support</li> <li>• Alberni Hospice Society – Grief Counselling</li> <li>• Community Health Services – Client support, interagency support for clients, assisting in goal planning/overcoming barriers</li> <li>• CPA Community Safety &amp; Social Development – convene, facilitate, coordinator and advocate</li> <li>• INEO Employment Services – Employment services for youth and adults</li> <li>• KUU-US – ASIST, SAFETALK, Naloxone training and distribution, community outreach</li> <li>• PAFD – youth duty to report, first point of contact</li> <li>• Ministry of Social Development and Poverty Reduction - Outreach worker, connections to community service providers</li> <li>• Sage Haven Society – Community Support Services</li> <li>• The Salvation Army – food hamper, soup kitchen, shelter, clothing, laundry, showers, 24/7 space</li> </ul>	<ul style="list-style-type: none"> <li>• lack of subsidized childcare</li> <li>• Low cost clinical counselling</li> <li>• Navigator for newcomers to Canada</li> <li>• Active gang activity prevents social engagement</li> <li>• Accessible transportation - low barrier</li> </ul>



## CITY OF PORT ALBERNI

### BYLAW NO. 5125-1

#### A BYLAW TO AMEND FEES AND CHARGES BYLAW NO. 5125, 2025

The Municipal Council of the City of Port Alberni in Open Meeting Assembled Enacts as follows:

1. **Title**

This Bylaw may be known and cited for all purposes as “**Fees and Charges Bylaw No. 5125-1, 2025**”.

2. **Amendments**

“Fees and Charges Bylaw No. 5125, 2025” is hereby amended as follows:

- a) Additional text to Section 4 Application of Fees:  
“Applicable fees and charges shall consist of those specified in the Fees and Charges Bylaw, or as outlined in the terms and conditions of contracts entered into with third parties.”

- b) Schedule “K” attached to “Fees and Charges Bylaw 5125, 2025” is hereby repealed and substituted therefore by the following attached hereto and forming part of this bylaw:

Schedule K – Parks, Recreation and Culture Fees & Charges

- c) Schedule “L” attached to “Fees and Charges Bylaw 5125, 2025”, is hereby repealed and substituted therefore by the following attached hereto and forming part of this bylaw:

Schedule L – Sewer Connection and Regulation Metered Consumption Rates

- d) Schedule “M” attached to “Fees and Charges Bylaw 5125, 2025”, is hereby repealed and substituted therefore by the following attached hereto and forming part of this bylaw:

Schedule M – Solid Waste Collection and Disposal Charges

- e) Schedule “N” attached to “Fees and Charges Bylaw 5125, 2025”, is hereby repealed and substituted therefore by the following attached hereto and forming part of this bylaw:

Schedule N – Waterworks Metered Consumption Rates

- f) Schedule “O” attached to “Fees and Charges Bylaw 5125, 2025”, is attached hereto and forming part of this bylaw:

Schedule O – Development Services Building Fees & Charges

**3. Severability**

If any provision of this bylaw is held to be invalid or unenforceable by a court of law, such invalidity shall not affect the validity and enforceability of the remaining provisions of this bylaw.

**4. Effective Date**

Schedules K, L, M, and N come into force on September 1, 2025.

The remaining amendments will come into force upon adoption of this bylaw.

**READ A FIRST TIME** this 23<sup>rd</sup> day of June, 2025.

**READ A SECOND TIME** this 23<sup>rd</sup> day of June, 2025.

**READ A THIRD TIME** this 14<sup>th</sup> day of July, 2025.

**FINALLY ADOPTED** this     day of     , 2025.

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Mayor

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Corporate Officer

## SCHEDULE K

### PARKS, RECREATION AND CULTURE FEES AND CHARGES

On January 1 of each year, every fee within this bylaw shall increase by the same value as the Consumer Price Index (CPI) of the previous year.

Applicable taxes must be added to all rates within this bylaw.

Facility rentals on statutory holidays shall be subject to rates reflecting the additional cost in staff time to facilitate such rentals.

### ADMISSIONS - SWIMMING, SKATING, FITNESS STUDIO

GLENWOOD CENTRE	
Drop-in Admission	
Child/Youth (5-18 years)	\$3.33
Adult (19-59 years)	\$6.19
Senior (60-74 years)	\$3.33
Family (max. 6 persons, min. 1 adult or senior, max. 2 adults)	\$13.33
Shower Only	\$3.33
10 Visits	
Child/Youth	\$30.15
Adult	\$57.15
Senior	\$30.15
Family	\$118.35
1 Month Membership	
Child/Youth	\$35.05
Adult	\$66.00
Senior	\$35.05
Family	\$154.60
3 Month Membership	
Child/Youth	\$89.83
Adult	\$174.25
Senior	\$89.83
Family	\$365.40
Annual Membership	
Child/Youth	\$265.30
Adult	\$447.50
Senior	\$265.30
Family	\$975.65
Get Active, Stay Active Pass	
Youth (unlimited drop-in & 20% off all registered programs, Jan. - Dec.)	\$196.70

## FACILITY RENTALS

RENTALS - ALBERNI VALLEY MULTIPLEX	
Ice (per hour)	
Youth Non-Prime & Hockey Academy	\$72.28
Youth Prime	\$103.16
Adult Non-Prime	\$149.99
Adult Prime	\$224.43
Dry Floor (per hour)	
Youth	\$54.11
Adult	\$76.69
Ice Events (full day) + staff	
Primary Sheet - surface only	\$3,391.10
Primary Sheet - surface & arena seating	\$4,017.00
Primary Sheet - surface only (non-profit)	\$1,695.55
Secondary Sheet - surface & bleacher seating	\$3,350.00
Upper Lounge	\$500.00
Dry Floor Events (full day) + staff	
Primary Sheet - surface only	\$1,391.10
Primary Sheet - surface & arena seating	\$2,017.00
Primary Sheet - surface only (non-profit)	\$900.00
Secondary Sheet - surface & bleacher seating	\$1,317.00
Upper Lounge	\$500.00
Homasote Flooring (covering ice for dry floor events)	Staff time + 10%
Skates (per pair)	
Rental	\$3.33
Sharpening	\$5.72

RENTALS - ECHO AQUATIC CENTRE	
Youth Groups and Swim Meets (per hour) + staff	
Per Lane	\$21.75
Shallow Tank	\$122.39
Main Pool (6 lanes x 25 m)	\$123.70
Full Facility - hourly up to 4 hours	\$170.10
Full Facility - full day, incl. 2 Aquatic staff	\$769.70
Adult Groups (per hour) + staff	
Per Lane	\$26.80
Full Facility - hourly up to 4 hours	\$211.92
Full Facility - full day, incl. 2 Aquatic staff	\$957.88

<b>RENTALS - ECHO '67 COMMUNITY CENTRE</b>	
<b>Room Rental (per hour)</b>	
Dogwood Room - public and local non-profit org. fundraisers	\$34.23
Dogwood Room - religious, political and non-local org.	\$47.88
Hemlock Room - public and local non-profit org. fundraisers	\$24.78
Hemlock Room - religious, political and non-local org.	\$36.93
Fir Room - public and local non-profit org. fundraisers	\$24.78
Fir Room - religious, political and non-local org.	\$36.93
Cedar Room (Front w/stage) - public and local non-profit org. fundraisers	\$39.40
Cedar Room (Front w/stage) - religious, political and non-local org.	\$66.30
Cedar Room (Centre) - public and local non-profit org. fundraisers	\$43.30
Cedar Room (Centre) - religious, political and non-local org.	\$67.60
Cedar Room (Back/East) - public and local non-profit org. fundraisers	\$43.30
Cedar Room (Back/East) - religious, political and non-local org.	\$67.60
Cedar Room (Full) - public and local non-profit org. fundraisers	\$74.96
Cedar Room (Full) - religious, political and non-local org.	\$104.00
Small Kitchen - public and local non-profit org. fundraisers	\$27.25
Small Kitchen - religious, political and non-local org.	\$100.00
Large Kitchen - public and local non-profit org. fundraisers	\$50.00
Large Kitchen - religious, political and non-local org.	\$100.00
Craft Room - public and local non-profit org. fundraisers	\$30.00
Craft Room - religious, political and non-local org.	\$35.25
Full Facility - public and local non-profit org. fundraisers (full day)	\$650.00
Full Facility - religious, political and non-local org. (full day)	\$909.95

<b>RENTALS - ECHO PARK FIELDHOUSE</b>	
<b>Room Rental</b>	
Fieldhouse (per hour)	\$44.88
Fieldhouse (full day – adult)	\$198.00
Fieldhouse (full day – youth)	\$100.00
Concession (full day)	\$250.00
Concession (full day when rented and operated by a youth sport society)	\$100.00
Showers (full day)	\$32.50
Officials' Room (full day)	\$50.00

<b>RENTALS - GLENWOOD CENTRE</b>	
<b>Rental (per hour)</b>	
Youth Floor Rental + staff	\$47.05
Adult Floor Rental + staff	\$80.00
Floor Rental with Inflatable + staff	\$150.00
Tennis Court (per court)	\$15.00
Youth Batting Cage	\$35.70
Adult Batting Cage	\$57.75
Skating - Floor Rental (2 hours, incl. skate shop attendant)	\$293.60
Full Facility (full day) - public and local non-profit org. fundraisers	\$570.70
Full Facility (full day) - religious, political and non-local org.	\$2,143.20
Skate Rentals (pair)	\$3.33

<b>RENTALS - GYRO YOUTH CENTRE</b>	
<b>Room Rental (per hour)</b>	
Activity Room	\$42.20
Full Upstairs (incl. Activity Room, Kitchen and Media Room)	\$99.25
Birch Room	\$36.25

<b>RENTALS - RECREATION PARK STADIUM</b>	
<b>Rental (per day)</b>	
Local recreation groups	\$300.00
Religious, political and non-local org.	\$600.00
Concession (full day)	\$250.00
Concession (full day when rented and operated by a youth sport society)	\$100.00

<b>RENTALS - BOB DAILEY STADIUM</b>	
Local Recreation Group (per hour)	\$60.00
Local Recreation Group (per 1/2 day)	\$179.00
Local Recreation Group (full day)	\$300.00
Religious, political and non-local org. (full day)	\$597.00
Lighting - youth (per hour)	\$92.00
Lighting - adult (per hour)	\$92.00

<b>RENTALS - SPORTS FIELDS</b>	
<b>Per Field, Diamond, or Pitch</b>	
Youth - Practice/Game (per hour)	\$0.00
Youth - Tournament (per day)	\$0.00
Adult - Practice/Game (per hour)	\$18.75
Adult - Tournament (per day)	\$80.00

<b>RENTALS – HARBOUR QUAY</b>	
<b>Spirit Square</b>	
Half Day (Up to 6 Hours)	\$100.00
Full Day (6-12 Hours)	\$150.00

### OTHER PARKS, RECREATION AND CULTURE FEES

Fifty percent (50%) of all fees collected from the rental of these items shall be allocated to Parks, Recreation and Culture reserves.

Item (Daily Cost + GST)	Per Piece (in-kind CIP Value)	Per Piece (Rental Cost)
Administrative Support		
Selling tickets for external events	10% of gross ticket sales	
Electronics		
Amplifier	\$10.00	\$100.00
Digital projector	\$10.00	\$50.00
Extension cord	\$1.00	\$10.00
Microphone	\$5.00	\$50.00
Podium/lectern	\$10.00	\$100.00
Portable speaker	\$5.00	\$25.00
Power bar	\$1.00	\$10.00
Projection screen	\$5.00	\$25.00
Food and Beverage		
Cambro (hot drinks)	\$5.00	\$50.00
Coffee urn	\$10.00	\$50.00
Cutlery (per dozen)	\$10.00	\$20.00
Dishes (per dozen)	\$10.00	\$50.00
Furniture		
Folding table	\$5.00	\$20.00
Plastic chair	\$2.00	\$5.00
Table skirt	\$1.00	\$25.00
Tablecloth	\$1.00	\$15.00
Outdoor Equipment		
Barricade (2 legs, 1 crossbar)	\$2.00	\$20.00
Delineator	\$1.00	\$10.00
Disc golf disc	\$1.00	\$10.00

Flexible plastic fencing with rebar (snow fence)	\$1.00	\$10.00
Garbage can	\$5.00	\$50.00
Garbage picker	\$1.00	\$10.00
High-vis vest	\$1.00	\$10.00
Marquee tent	\$300.00	\$450.00
Megaphone	\$5.00	\$50.00
Pylon	\$1.00	\$10.00
Sandbag	\$1.00	\$10.00
<b>Signage</b>		
Standing display sign	\$1.00	\$10.00
Sandwich board sign	\$1.00	\$10.00
Electronic reader board (Wallace St. & 10th Ave.)	\$5.00	\$40.00
<b>Park, playground or spray park bookings</b>		
	\$30.00	\$40.00



# SCHEDULE L

## SEWER CONNECTION AND REGULATION

### METERED CONSUMPTION RATES AND BILLING

#### Rates for City Sewerage System

#### 1. Rates for Sewer User Consumption

Rates for connection to the City Sewerage System for all users are based on water consumption in of cubic metres (m<sup>3</sup>). One cubic metre is 1,000 litres. Sewer user consumption rates are as follows:

Customer Category	Description	Volume Rate
Residential	Service to a single-family dwelling unit is billed at the residential unit rate	\$0.56 per m <sup>3</sup>
Non-Residential (low volume)	Service that is not to a single-family dwelling and that is consuming less than 35,000 cubic meters of water per year is billed for sewer at the non-residential low use rate	\$0.78 per m <sup>3</sup>
Non-Residential (high volume)	Service that is not to a single-family dwelling and that is consuming more than 35,000 cubic meters of water per year is billed for sewer at the non-residential high rate	\$0.68 per m <sup>3</sup>

#### 2. Fixed System Charge

Fixed System Charges are calculated monthly based on the size of water meter.

Meter Size (millimetres)	Meter Size (inches)	Monthly Charge
16	5/8	\$ 24.64
19	3/4	\$ 24.64
25	1	\$ 24.64
38	1 1/2	\$ 51.33
50	2	\$ 51.33
75	3	\$143.72
100	4	\$143.72

150	6	\$143.72
200	8	\$143.72
250	10	\$308.00

### 3. Billing Period

Unless otherwise determined by resolution of Council, Meters shall be read and the Water Consumption and Fixed System Charge determined at least three times a year and the resulting charges shall be due and payable on the date stated as the "Due Date".

### 4. Septage Dump Fee

A charge of \$200.00 per load shall be charged for dumping of septage by tanker trucks.

### 5. Fish Processing Facilities

Liquid Industrial Wastes discharged from fish processing facilities into the City's Sewerage System will be subject to user charges set out in Table 1 below. These charges are in addition to the usual charges associated with any connection to and use of the City's Sewerage System:

Special User Charges for Fish Processing Facilities		
Quality Indicator	Concentration	Fee
Biochemical Oxygen Demand (BOD5)	0 - 0.69 tonne per day	No Charge
	0.7 - 1.6 tonne per day	\$457 per tonne
	over 1.6 tonne per day	Not Permitted
Total Suspended Solids (TSS)	0 - 1.1 tonne per day	No Charge
	1.2 - 2.6 tonne per day	\$249 per tonne
	Over 2.6 tonne per day	Not Permitted

## SCHEDULE M

### SOLID WASTE COLLECTION AND DISPOSAL CHARGES

#### 1. Eligible Residence – Curbside Collection Annual Fee

Cart Size (litres)	Equivalent Standard 80 litre can (approx.)	Annual Fee Effective September 1, 2024
80 L	1	\$190.00
120 L	1.5	\$200.00
240 L	3	\$450.00
360 L	4.5	\$650.00

Waste collection fees are included 3 times per year on your City of Port Alberni utility bill. A pricing structure based on the size of your garbage can is used.

#### 2. Requested additional curbside pick-up

Cart Size (litres)	Garbage	Recycling	Service Fee
80 L	Request by Owner	Not Available	\$10.00
120 L	Request by Owner	Not Available	\$10.00
240 L	Request by Owner	Not Available	\$20.00

#### 3. Standard Container Exchange Fee

Request to change garbage cart size by owner	\$50.00 per request
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#### 4. City Assisted Set Out/Set Back Service Fee

Properties approved by Manager of Operations will approve and then apply the set out and set back fee for all City carts in this program.	\$52.00 Annual fee
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#### 5. Replacement Fee for Cart

Request for replacement of Lost/Stolen/Damaged* cart by owner	Actual cost of replacement of a cart
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\*Damaged carts will first have in-house repairs attempted to fix damage. If found cart is damaged beyond repair, replacement charges will occur and replacement cart will be delivered to property.

# SCHEDULE N

## WATERWORKS

### METERED CONSUMPTION RATES AND BILLING

#### 1. Rates for Water Consumption

Rates for Water Consumption are calculated on the basis of cubic metre (m<sup>3</sup>). One m<sup>3</sup> equals 1,000 litres.

Customer Category	Description	Volume Rate
Single Family Residential	Service to a single-family dwelling unit is billed at the residential unit rate	First 60 m <sup>3</sup> : \$0.79 per m <sup>3</sup> Over 60 m <sup>3</sup> : \$1.04 per m <sup>3</sup>
Multi-family Residential	Service that is shared by two or more single family dwelling units, including duplexes, apartments, and condominiums, is billed at the multifamily rate	\$0.79 per m <sup>3</sup>
Commercial	Service to commercial and light industrial units	\$0.68 per m <sup>3</sup>
Industrial	Service to specific high-volume customers	\$0.48 per m <sup>3</sup>
Outside Residential	Single family residential outside City boundaries	First 60 m <sup>3</sup> : \$1.06 per m <sup>3</sup> Over 60 m <sup>3</sup> : \$1.42 per m <sup>3</sup>
Special Service Agreement	Bulk provision to Hupacasath First Nation; Tseshah First Nation; Beaver Creek	\$0.61 per m <sup>3</sup>

**2. Fixed System Charge**

Fixed System Charges are calculated monthly, based on the size of Meter in metric (millimetre or mm) measure.

<b>Meter Size</b> millimetres	<b>Meter Size</b> inches	<b>Inside City Boundaries</b> <b>Monthly Charge</b>	<b>Outside City Boundaries</b> <b>Monthly Charge</b>
16	5/8	\$ 23.75	\$ 32.09
19	3/4	\$ 23.75	\$ 32.09
25	1	\$ 49.34	\$ 66.61
38	1 1/2	\$ 63.70	\$ 85.98
50	2	\$ 83.30	\$ 112.41
75	3	\$ 131.84	\$ 178.00
100	4	\$ 186.75	\$ 252.09
150	6	\$ 316.07	\$ 426.74
200	8	\$ 462.83	\$ 624.82
250	10	\$ 626.98	\$ 846.45

**3. Billing Period**

Unless otherwise determined by resolution of Council, Meters shall be read and the Water Consumption determined of at least three times a year and the resulting charges shall be due and payable on the date stated as the "Due Date".

## UNMETERED CONSUMPTION RATES AND BILLING

### 1. Rates for Water Consumption

Category of Single Family Residential or Commercial Premises	Monthly Rate
(a) Unmetered (refusals)	\$ 193.40
(b) Inside City Boundaries - awaiting Meter installation	\$ 48.35
(c) Outside City Boundaries - awaiting Meter installation	\$ 65.24

The establishment of a rate for unmetered (refusals) Premises in (a) above does not interfere with or relieve an Owner from the obligation under Section 34 of this Bylaw to have a Meter installed on their Premises.

### 2. Fire Line Rates

The monthly rate for all Fire Lines shall be \$33.00.

### 3. Billing Period

Unless otherwise determined by resolution of Council, accounts for the above shall be billed every four months in advance and shall be due and payable on the date stated on the invoice. No prepayment for any service shall prevent the amount of any increase being charged to and collected from any Owner.

# SCHEDULE O

## DEVELOPMENT SERVICES

### BUILDING FEES & CHARGES

Building Permit	Fee
(a) Base Fee	\$100.00
(b) Plus, per \$1,000 of valuation, or portion thereof If a building permit is issued for a construction under the supervision of a Coordinating Registered Professional, the permit fee is reduced by 10% of the fees payable under this Bylaw, up to a maximum reduction of \$500.00.	\$7.00
Renewal of Lapsed Building Permit	
(a) Base fee	\$100.00
(b) Plus, per \$1,000 of valuation, or portion thereof	\$9.50
Excavation and/or Foundation permit for Part 3 buildings	\$1,330.00 plus 1/3 the cost of the final building permit fee (plus applicable development cost charges)
Plumbing Permit – per Fixture	
(a) Base fee	\$65.00
(b) Per fixture	\$10.00
Fire Sprinkler System – per Fixture	
(a) Base fee	\$65.00
(b) Per sprinkler	\$2.00
Re-inspections (first inspection no charge)	\$100.00
Inspection – outside normal City business hours – per hour	\$200.00
Compliance Inspection of Existing Buildings Application	
(a) Up to 600 sq. m	\$100.00
(b) Over 600 sq. m	\$400.00
Transfer of building permit to new owner or update to owner's address	\$100.00
Plan Check Deposit – Non-Refundable	
(a) % of building permit fee	15%
(b) Minimum fee	\$100.00
This payment will be reduced from the final building permit issuance fees.	
Submission of new plans after plan review that include major changes that result in more than three hours of staff time to review, additional fees per hour of staff time may be applicable.	\$150.00
Installation of solid fuel burning appliance	\$100.00
Demolishing a Building	
(a) Fee	\$100.00
(b) Bond fee	\$500.00
Siting of a Manufactured Building	
(a) For construction between \$30,000 and \$200,000	\$300.00
(b) For construction over \$200,000	\$600.00
Retaining walls – greater than 1.2 meters in height	\$150.00

Moving a building	\$200.00
Temporary building refundable security deposit This will be refunded in full upon removal of the temporary building.	10% of Construction Value
Report on equivalency with BC Building Code	\$200.00
Where any Work has Started Prior to the Issuance of a Building Permit	
(a) % of permit fee otherwise payable	200%
(b) Maximum penalty	\$10,000.00
Inspection or plan review not covered by other categories – per hour of staff time	\$75.00
Removal of Section 57 Notice on Title	\$500.00
Single family/two family dwelling – bonding against damage to the city street and final site servicing/grading	\$2,000.00
Multi-residential/commercial/industrial/institutional – bonding against damage to City Street and final site servicing/grading This fee is not applicable when the Owner has entered into a Works and Services agreement and provided necessary bonding	\$2,000.00 or \$110.00 per metre of frontage whatever is greater
Refunds – as a % of Total Building Permit Fees (excluding plan check deposit fee)	
(a) Prior to excavation or commencement of construction	85%
(b) After initiation of construction including foundation Any development cost charges paid as part of a building permit are non-refundable.	0%
Land title search This fee does not cover any other documents such as Covenants, Rights of Ways, etc. The cost of retrieving these from the LTSA shall be borne by the applicant. Land title searches are only completed as part of an application submission.	Fees are as per the LSTA charges
<i>Note: Fees will increase annually at the rate of the CPI unless the bylaw is amended</i>	



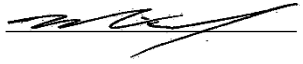


Date: July 25, 2025  
File No: 6123 & 6151 Russell Place

To: Mayor and Council  
From: M. Fox, CAO

Subject: **DEVELOPMENT APPLICATION – OCP and Zoning Bylaw Amendments for Property at 6123 & 6151 Russell Place, Port Alberni**  
LOT 1, SECTION 9, ALBERNI DISTRICT, PLAN 15459 (PID: 001-868-128)  
LOT 2 SECTION 9 ALBERNI DISTRICT PLAN 15459 (PID: 001-823-591)

Applicant: D. Firouzli Architecture Inc. dba West Coast Native Health Care Society

Prepared by:  B. McLoughlin Manager of Planning	Director:  S. Smith, Dir. of Development Services   Deputy CAO	CAO Concurrence:  M. Fox, CAO
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#### RECOMMENDATIONS(S)

*THAT Council direct staff to proceed with the required OCP and Zoning Bylaw amendments as per the revised development plans submitted for 6151 Russell Place, Tsawaayuus (Rainbow Gardens).*

#### PURPOSE

To consider a revised development concept for proposed seniors housing at Tsawaayuus (Rainbow Gardens), and to direct Administration on how to proceed.

#### BACKGROUND

The West Coast Native Health Care Society has submitted a proposal for development of additional housing at 6123 Russell Place, which forms part of the Tsawaayuus (Rainbow Gardens) complex. The intent is to provide affordable and subsidized units for seniors living independently. The location would allow residents to age-in-place, and to move into the care facility in the future if they choose.

The applicant intends to apply to BC Housing for project funding, but amendments to the OCP and Zoning Bylaw are required to enable the development. The proposed bylaws would create a new institutional “P3 Care Campus” zone for care facilities to be co-located with accessory housing on the same property.

#### Status of the Application

- The development application was referred to the Advisory Planning Commission (APC) on October 17<sup>th</sup>, 2024. The APC passed a motion recommending Council support the application.
- Council gave 1<sup>st</sup> and 2<sup>nd</sup> readings to the amending bylaws on March 24, 2025
- Public Hearing was held on May 12<sup>th</sup>, 2025.
- On June 23<sup>rd</sup>, Council directed Administration to work with the applicant to determine lower density options for the Rainbow Gardens development application at 6123 & 6151 Russell Place.

**Figure 1 – Subject Property Map**



<b>Location</b>	At the corner of Russell Pl. and Russell St. approximately 120m north of River Rd. / Highway 4
<b>Current Land Use</b>	<i>Institutional (INS)</i>
<b>Current Zoning</b>	<i>P1 Institutional</i>
<b>Proposed Zoning</b>	<i>P3 Care Campus</i>
<b>Total Area</b>	20,283 m <sup>2</sup> (5 acres)

#### ALTERNATIVES/OPTIONS

1. That Council direct staff to proceed with the required OCP and Zoning Bylaw amendments as per the revised development plans submitted for 6151 Russell Place, Tsawaayuu (Rainbow Gardens).
2. That Council consider Third Reading of “Zoning Amendment (6123 and 6151 Russell Place), Bylaw No. 5119”.
3. That Council request additional information from Administration.

#### ANALYSIS

The applicant has submitted revised plans for consideration following Council’s motion requesting lower density options for the development. Below is a summary of design revisions:

- a) Height reduced from 3 storeys to 2 storeys.
- b) Building height reduced by 3 meters.
- c) Building footprint increased, and building extended along Russel Street.
- d) Number of dwellings reduced by 4 units.
- e) Roof style now more similar to the surrounding neighbourhood.
- f) Parking area reduced to create more open space

Table 1 shows a comparison between the initial design and revised submission:

Table 1 – Comparison of Development Statistics		
	Initial Proposal	Revised Proposal
<i>Rental Dwelling Units</i>	35	31
<i>Lot Coverage</i>	38.7%	42.7%
<i>Building Storeys</i>	3	2
<i>Building Height</i>	11.68 m	8.68 m
<i>Floor Area Ratio (density)</i>	0.60	0.65
<i>Parking</i>	16 spaces	15 spaces

Staff notes:

- Density remains comparable to the previous design, but the massing of the building has changed.
- The general form and character now mimics a townhouse-style, though it is still an apartment building.
- The applicant has informed staff that 31 dwelling units is the minimum for a viable project.
- The revised design does not trigger the need for an updated Transportation Impact Assessment.

**IMPLICATIONS**

The applicant has submitted a revised development proposal as requested by Council. While the density is comparable, significant changes have been made to the massing and form and character which may change how the development is perceived.

If Council **supports** the revised plans:

- a) Council may direct staff to introduce an OCP amendment bylaw as the previous bylaw was defeated.
- b) Council may also repeal 1<sup>st</sup> and 2<sup>nd</sup> readings of *Zoning Amendment Bylaw No. 5119* as the text of the bylaw will need to be updated.

If Council **does not support** the revised plans:

- a) Council may direct staff to work with the applicant on further revisions.

**OR**

- b) Council may choose not to give 3<sup>rd</sup> Reading to *Zoning Amendment Bylaw No. 5119*, which means the bylaw is defeated and the development does not proceed.

**COMMUNICATIONS**

If the application proceeds with a new design, a second Public Hearing will need to be held and all public notifications re-issued.

## **BYLAWS/PLANS/POLICIES**

### Official Community Plan Bylaw No. 4602

The amending bylaw was defeated by Council at the June 23 Regular Meeting. A new amending bylaw would need to be introduced to enable this development. This includes adding text to support the co-location of rental housing with care facilities on Institutional (INS) lands as part of a care facility campus.

### Zoning Bylaw No. 5105

A zoning bylaw amendment is required to enable the development.

- *Zoning Amendment Bylaw No. 5119* has received Second Reading from Council and is past a Public Hearing.
- The amending bylaw cannot be adopted without the OCP amendment that was defeated by Council.
- If the application proceeds, the readings of *Zoning Amendment Bylaw No. 5119* should be repealed, and a revised amending bylaw brought forward for First Reading alongside a reintroduced OCP amendment.

### 2024 Interim Housing Needs Report

There is an exceptionally high demand for adequate and affordable seniors housing in the community as indicated by the [2024 Interim Housing Needs Report](#) and [data inventory](#). This development proposal would deliver 31 affordable rentals.

- Up to 50% of senior households are experiencing core housing need.
- A total 1,220 dwellings units are needed over the next 5 years to meet Port Alberni’s immediate housing needs. This includes 176 units of deep subsidy and supportive rental, and 206 units of non-market rental.

## **SUMMARY**

The City has received an application for OCP and Zoning Bylaw amendments, that would establish a new institutional “P3 Care Campus” zone for care facilities with accessory rental housing, and limited services to support their residents. The proposed amendments would also rezone the Tsawaayuus (Rainbow Gardens) complex at 6123 and 6151 Russel Place to enable future development of affordable rental housing for seniors.

## **ATTACHMENTS/REFERENCE MATERIALS**

1. *Comparison of Plans – 6123 Russel Place*
2. *Revised Development Plans – 6123 Russel Place*
3. *Zoning Amendment (6123 & 6151 Russell Place) Bylaw No. 5119*



## ATTACHMENT 1 - COMPARISON OF PLANS

Figure 5 – Initial Site Plan at 6123 Russel Place

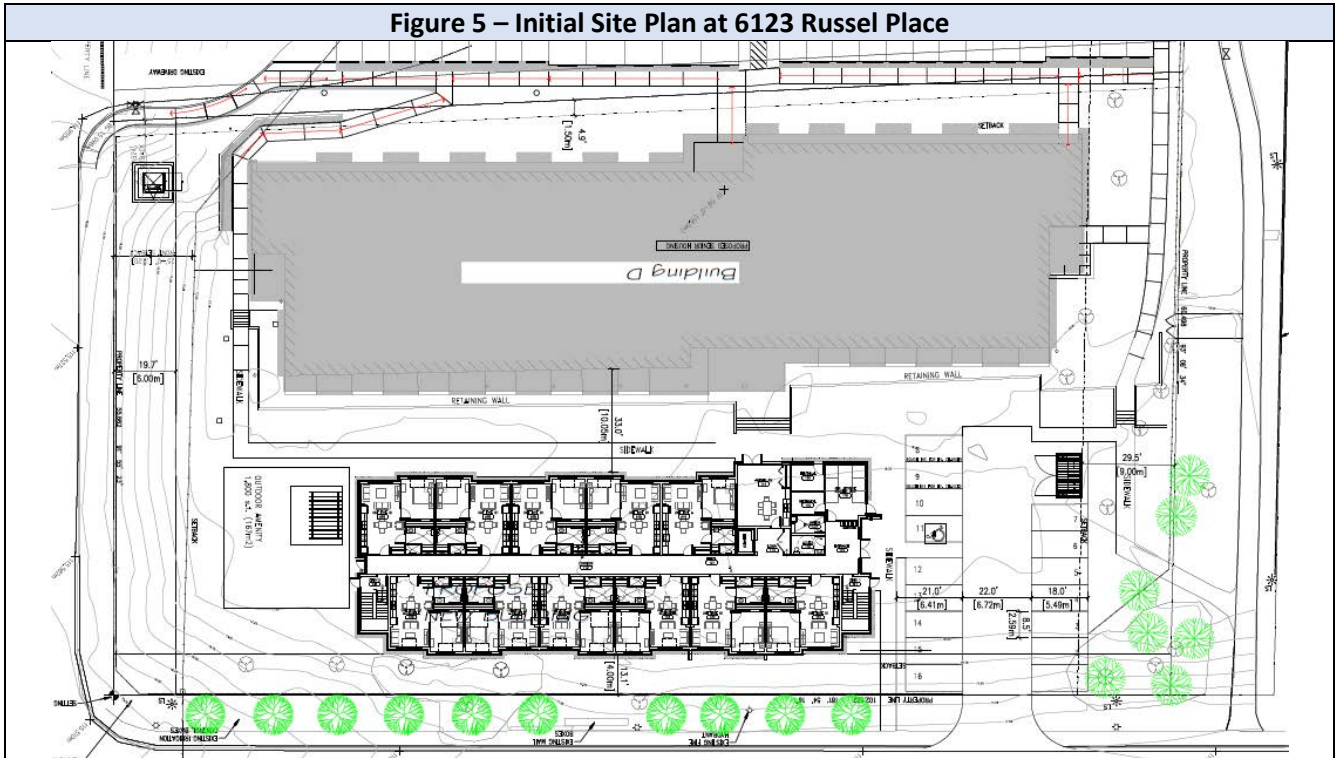


Figure 6 – Revised Site Plan at 6123 Russel Place

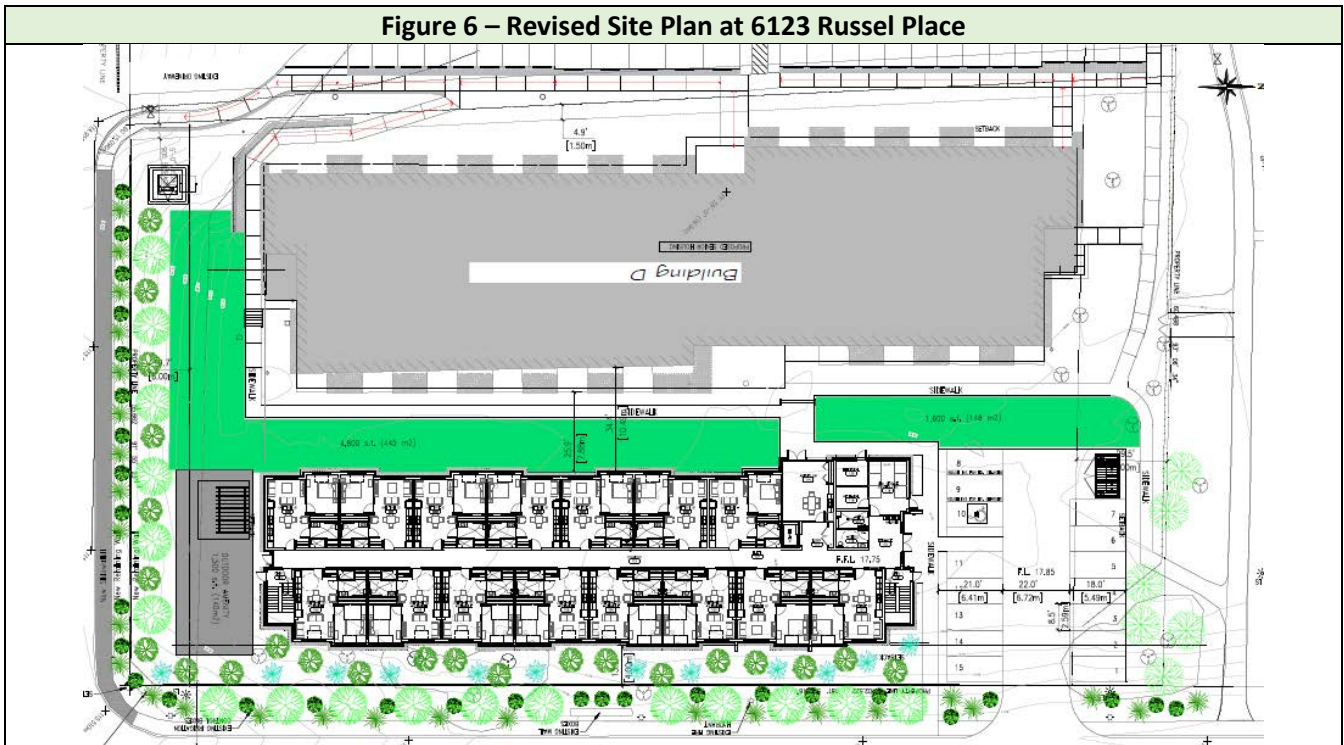
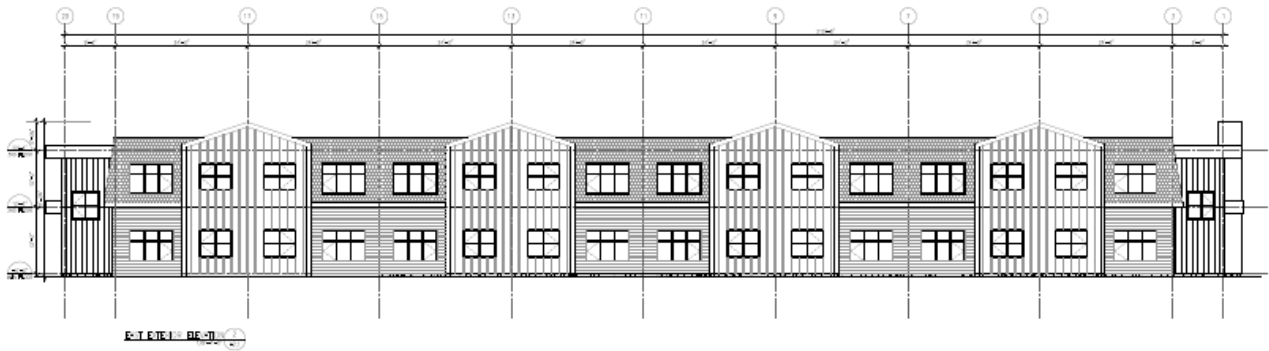


Figure 7 – Initial Building Elevation

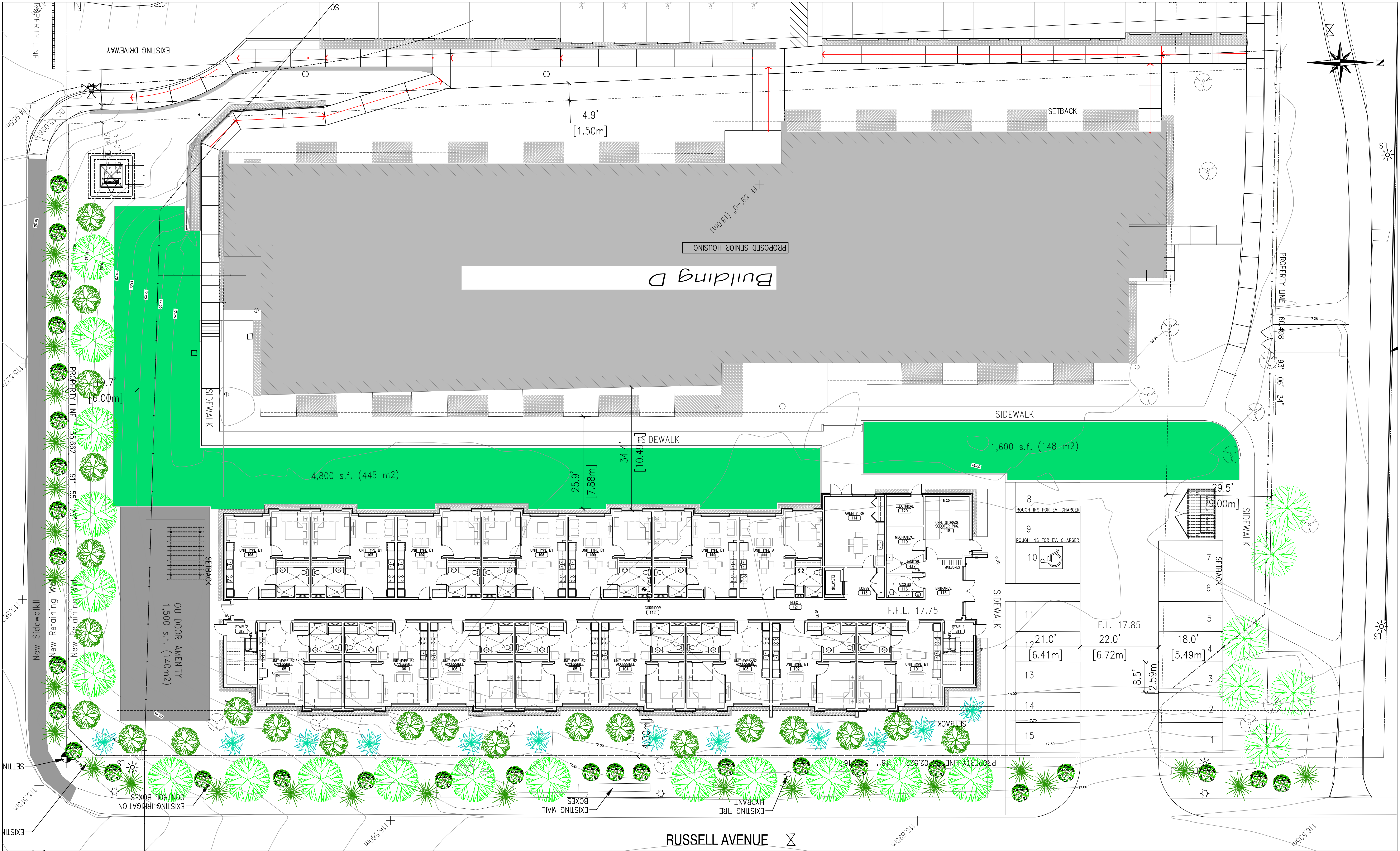


MAIN BUILDING ELEVATION FROM RUSSELL STREET (EAST ELEVATION)

Figure 8 – Revised Building Elevation







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NO.	DATE	REVISIONS
1	10/10/2020	ISSUED FOR PERMIT
2	10/10/2020	ISSUED FOR PERMIT
3	10/10/2020	ISSUED FOR PERMIT
4	10/10/2020	ISSUED FOR PERMIT
5	10/10/2020	ISSUED FOR PERMIT
6	10/10/2020	ISSUED FOR PERMIT
7	10/10/2020	ISSUED FOR PERMIT
8	10/10/2020	ISSUED FOR PERMIT
9	10/10/2020	ISSUED FOR PERMIT
10	10/10/2020	ISSUED FOR PERMIT
11	10/10/2020	ISSUED FOR PERMIT
12	10/10/2020	ISSUED FOR PERMIT
13	10/10/2020	ISSUED FOR PERMIT
14	10/10/2020	ISSUED FOR PERMIT
15	10/10/2020	ISSUED FOR PERMIT

D-ARCHITECTURE

1000 1/2 STREET, NANAIMO, BC V9V 1N4

T: 250-933-1991, E: FIBOUZLI@SHAW.CA

B: 867-562-51

SEAL

17.00

THE WEST COAST NATIVE HEALTHCARE SOCIETY

TSAWAYLUUS • ATAAPIS • HULIPSITAS

SCALE

3/64" = 1'-0"

DRAWN

CHECKED

DATE

7 JUL 25

PROJECT

5350 RUSSELL STREET

PORT ALBERNI, BC

CLIENT

RAINBOW GARDENS

RG 31

PROJECT NO.

2964

SHEET TITLE

OVERALL SITE PLAN

SHEET NO.

A1.1

REVISION



INTERIOR WALL TYPES		
1	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" or 24" O/C ACOUSTIC BATT INSULATION 1" AIR SPACE 2x4 WOOD STUDS @ 16" or 24" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRP BCBC TABLE A-9.10.3.1.A.W1g REQUIRED STC: 50	UNIT
2	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C STAGGERED ON COMMON 2x6 PLATE ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRP BCBC TABLE A-9.10.3.1.A.W6g REQUIRED STC: 50	CORRIDOR
3	5/8" TYPE X GYPSUM BOARD 2x6 WOOD STUDS @ 16" OR 24" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRP BCBC TABLE A-9.10.3.1.A.W4g REQUIRED STC: 50	STAIR
4	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x6 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRP BCBC TABLE A-9.10.3.1.A.W6g REQUIRED STC: 55	ELEVATOR

INTERIOR WALL TYPES		
5	5/8" TYPE X GYPSUM BOARD 2x6 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRP BCBC TABLE A-9.10.3.1.A.W1g NO REQUIRED STC RATING FOR UNIT INTERIOR WALLS	UNIT
6	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRP BCBC TABLE A-9.10.3.1.A.W1g NO REQUIRED STC RATING FOR UNIT INTERIOR WALLS	UNIT
7	5/8" GYPSUM BOARD 2x6 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" GYPSUM BOARD	UNIT
8	5/8" GYPSUM BOARD 2x4 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" GYPSUM BOARD	UNIT
9	5/8" GYPSUM BOARD 2x4 or 2x6 (AS REQUIRED) WOOD STUDS @ 16" or 24" O/C WALL FOR PLUMBING	UNIT

EXTERIOR WALL TYPES		
A	CEMENT FIBREBOARD PANEL 3/4"x2-1/2" CCA PLYWOOD STRAPPING 4" R16 MINERAL WOOL RIGID INSULATION ADHERED VAPOUR PERMEABLE MEMBRANE PLYWOOD SHEATHING - SEE STRUCTURAL 2x6 WOOD STUDS @ 16" o/c R24 BATT INSULATION 6 MIL. POLY VAPOUR BARRIER 5/8" TYPE X GYPSUM BOARD	EXT.
B	AS PER TYPE A ABOVE EXCEPT CLADDING, 6" CEMENT FIBREBOARD HORIZONTAL SIDING	EXT.
C	AS PER TYPE A ABOVE EXCEPT CLADDING, PREFINISHED METAL CLADDING	EXT.
D	HARDEPANEL SIDING 1/2" MIN. PLYWOOD STRAPPING BREATHABLE MOISTURE BARRIER 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" o/c 1/2" PLYWOOD SHEATHING BREATHABLE MOISTURE BARRIER 1/2" MIN. PLYWOOD STRAPPING HARDEPANEL - SMOOTH FINISH  NOTE: EACH STUD CAVITY TO BE VENTED @ TOP & BOTTOM OF WALL	EXT.
E	DRAIN MAT R20 RIGID INSULATION WATERPROOFING CONCRETE WALL - SEE STRUCTURAL R10 RIGID INSULATION SEALED TO PROVIDE VAPOUR BARRIER 1x4 WOOD FURRING @ 16" O/C 5/8" GYPSUM BOARD	INT.

- ### WALL ASSEMBLY NOTES
- FOR EXTERIOR CLADDING (INCLUDING STONE VENEER) FASTENING REQUIREMENTS SEE CLADDING STRUCTURAL ENGINEER.
  - FOR LOCATION OF SHEAR WALLS SEE STRUCTURAL DRAWING.
  - FOR STUDS DIMENSION & SPACING AT LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS (BEARING WALL SCHEDULE).
  - ALL LOAD BEARING WALLS REQUIRED 1 HR FIRE RATING (FOR LOCATIONS OF LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS).
  - CONCEALED SPACES IN INTERIOR WALLS & CEILINGS TO BE SEPARATED FROM CONCEALED SPACES IN EXTERIOR WALLS & ATTIC OR ROOF SPACES BY FIREBLOCKS.
  - CONCEALED SPACES WITHIN A WALL ASSEMBLY TO BE FIREBLOCKED AT EVERY CEILING LEVEL REQUIRED TO HAVE A FIRE RESISTANCE RATING SO THAT THE MAXIMUM HORIZONTAL DIMENSION IS 20M/215FT2 & THE MAXIMUM VERTICAL DIMENSION IS NOT MORE THAN 3M/9'-10".
  - ALL PENETRATION OF FIRE RATED WALL REQUIRED TO USE APPROVED FIRE STOPPING APPLICATION BY CONSULTANTS AND CITY OF NANAIMO INCLUDING INTERIOR LOADBEARING WALLS INSIDE UNITS.
  - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYER(S) OF PLYWOOD AS REQUIRED FOR SHEAR WALLS.
  - VERTICAL PLYWOOD STRAPPING FOR CLADDING TO ALIGN W/WOOD STUDS OR SOLID BLOCKING IN FRAME WALLS.

**ADDITIONAL WALL TYPES**  
**SEE DRAWINGS A5.1 - A5.3**

FLOOR PLAN LEGEND		
	EXTERIOR ELEVATION NUMBER (SEE A3 SERIES DRAWINGS) SHEET NUMBER	
	BUILDING SECTION NUMBER (SEE A4 SERIES DRAWINGS) SHEET NUMBER	
	DETAIL NUMBER (SEE A7 SERIES DRAWINGS) SHEET NUMBER	
	ROOM NAME & NUMBER SEE ROOM FINISH SCHEDULE	
	DOOR &/OR SCREEN NUMBER SEE DOOR SCHEDULE	
	EXTERIOR WINDOW NUMBER SEE WINDOW SCHEDULE	
	TOP OF FLOOR ELEVATION	
	EXTERIOR WALL BELOW	
	EXTERIOR WALL/BEAM/ROOF ABOVE	

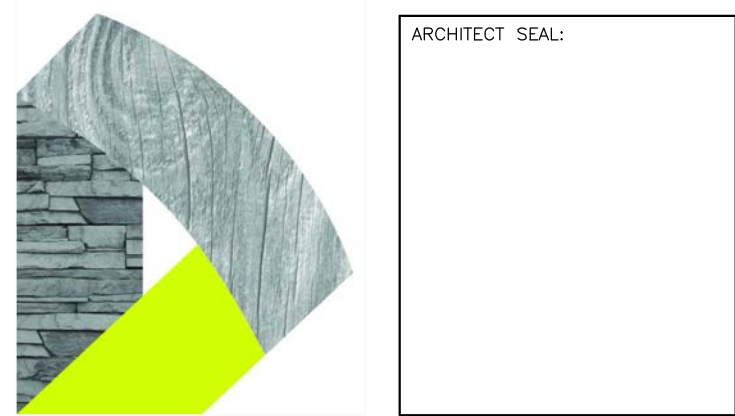
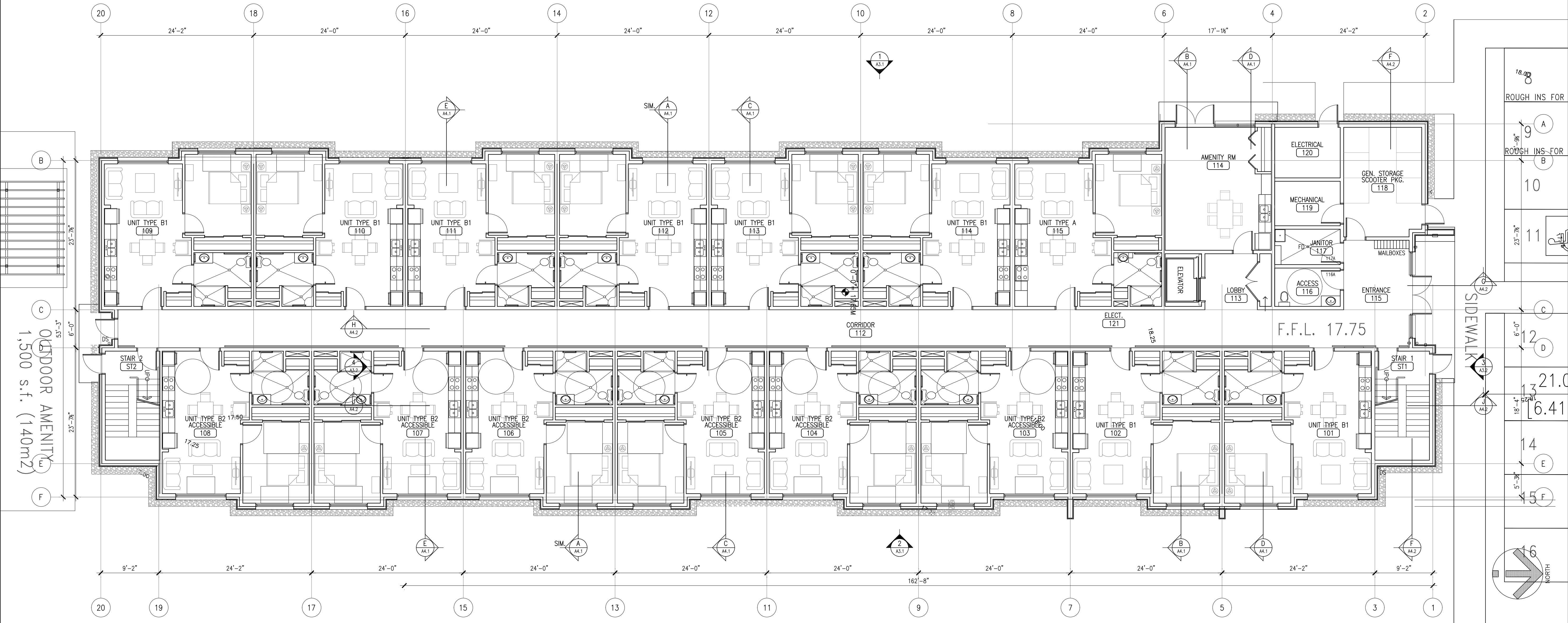
- ### GENERAL NOTES
- ALL CONSTRUCTION TO COMPLY WITH PART 3 OF THE 2012 BC BUILDING CODE, EXCEPT WHERE LOCAL LAWS TAKE PRECEDENCE.
  - CONTRACTOR TO REPORT ALL ERRORS OR OMISSIONS IMMEDIATELY & PRIOR TO THE COMMENCEMENT OF THE WORK.
  - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONTINUING ANY PORTION OF THE WORK.
  - CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UNDERGROUND SERVICES AND ANY DAMAGE CAUSED BY THE WORK.
  - CONTRACTOR TO ENSURE SMOOTH CONTINUOUS DRAINAGE AWAY FROM THE BUILDING TO DRAIN POINTS.
  - SEE CIVIL DRAWINGS FOR BUILDING FLOOR ELEVATIONS, SITE GRADING & ROAD DIMENSIONS.
  - SEE LANDSCAPE DRAWINGS FOR PLANTING, FENCING, TRELLISES, ARBOURS & OTHER SITE FEATURES.
  - DIMENSIONS IN IMPERIAL UNLESS NOTED OTHERWISE.
  - EXTERIOR WALL DIMENSIONS ARE TO FACE OF PLYWOOD UNLESS NOTED OTHERWISE. INTERIOR WALL DIMENSIONS ARE TO CENTRELINE UNLESS NOTED OTHERWISE.
  - PROVIDE MISCELLANEOUS STUDS, BRACING, FURRING OR BLOCKING AS REQUIRED.
  - MAINTAIN ACOUSTIC SEPARATION @ RECESSED FIXTURES & EQUIPMENT.
  - CONFIRM WINDOW AND DOOR ROUGH OPEN SIZES WITH SUPPLIERS. SIZES ON DRAWINGS ARE NOMINAL.
  - SEE SERIES A5 DRAWINGS TYPICAL UNIT PLANS & STAIR PLANS FOR ADDITIONAL DIMENSIONS, NOTES & WALL TYPES.

**TYPICAL UNIT, STAIR & ELEVATOR PLANS - SEE DRAWINGS A5.1 - A5.3**

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NO.	DATE	REVISIONS
1	JUL 7/25	ISSUED FOR NEW RE-ZONING REVIEW



**D-ARCHITECTURE**  
6377 IDARUS DRIVE, NANAIMO, BC V9V 1N4  
T: 250-933-1991, E: FIROUZLI@SHAW.CA  
DARYOUSH FIROUZLI ARCHITECTURE INC.

PROJECT  
**RAINBOW GARDENS**  
**RG31**  
5350 RUSSELL STREET  
PORT ALBERNI, BC

CLIENT  
**The WestCoast Native Healthcare Society**  
TSWANANULS • KWAHAKS • HILPITAS

CONTRACTOR  
**IWCD**

PROJECT NO. 2964

SHEET TITLE  
**MAIN FLOOR PLAN**

SCALE  
1/8" = 1'-0"

DRAWN  
D.F.

CHECKED  
D.F.

DATE  
JUL 7/24

SHEET NO.  
**A2.1**

REVISION



INTERIOR WALL TYPES		
1	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" OR 24" O/C ACOUSTIC BATT INSULATION 1" AIR SPACE 2x4 WOOD STUDS @ 16" OR 24" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRB BCBC TABLE A-9.10.3.1.A.W1g REQUIRED STC: 50	UNIT
2	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 16" O/C STAGGERED ON COMMON 2x6 PLATE ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRB BCBC TABLE A-9.10.3.1.A.W6g REQUIRED STC: 50	CORRIDOR
3	5/8" TYPE X GYPSUM BOARD 2x6 WOOD STUDS @ 16" OR 24" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRB BCBC TABLE A-9.10.3.1.A.W4g REQUIRED STC: 50	STAIR
4	2 LAYERS 5/8" TYPE X GYPSUM BOARD 2x6 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 24" O/C 2 LAYERS 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRB BCBC TABLE A-9.10.3.1.A.W6g REQUIRED STC: 55	ELEVATOR

INTERIOR WALL TYPES		
5	5/8" TYPE X GYPSUM BOARD 2x6 WOOD STUDS @ 16" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRB BCBC TABLE A-9.10.3.1.A.W1g NO REQUIRED STC RATING FOR UNIT INTERIOR WALLS	UNIT
6	5/8" TYPE X GYPSUM BOARD 2x4 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" TYPE X GYPSUM BOARD  FIRE SEPARATION: 1 HOUR FRB BCBC TABLE A-9.10.3.1.A.W1g NO REQUIRED STC RATING FOR UNIT INTERIOR WALLS	UNIT
7	5/8" GYPSUM BOARD 2x6 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" GYPSUM BOARD	UNIT
8	5/8" GYPSUM BOARD 2x4 WOOD STUDS @ 24" O/C ACOUSTIC BATT INSULATION 5/8" GYPSUM BOARD	UNIT
9	5/8" GYPSUM BOARD 2x4 or 2x6 (AS REQUIRED) WOOD STUDS @ 16" OR 24" O/C WALL FOR PLUMBING	UNIT

EXTERIOR WALL TYPES		
A	CEMENT FIBREBOARD PANEL 3/4"x2-1/2" CCA PLYWOOD STRAPPING 4" R16 MINERAL WOOL RIGID INSULATION ADHERED VAPOUR PERMEABLE MEMBRANE PLYWOOD SHEATHING - SEE STRUCTURAL 2x6 WOOD STUDS @ 16" o/c R24 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 5/8" TYPE X GYPSUM BOARD	EXT.
B	AS PER TYPE A ABOVE EXCEPT CLADDING, 6" CEMENT FIBREBOARD HORIZONTAL SIDING	EXT.
C	AS PER TYPE A ABOVE EXCEPT CLADDING, PREFINISHED METAL CLADDING	EXT.
D	HARDEPANEL SIDING 1/2" MIN. PLYWOOD STRAPPING BREATHABLE MOISTURE BARRIER 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" o/c 1/2" PLYWOOD SHEATHING BREATHABLE MOISTURE BARRIER 1/2" MIN. PLYWOOD STRAPPING HARDEPANEL - SMOOTH FINISH  NOTE: EACH STUD CAVITY TO BE VENTED @ TOP & BOTTOM OF WALL	EXT.
E	DRAIN MAT R20 RIGID INSULATION WATERPROOFING CONCRETE WALL - SEE STRUCTURAL R10 RIGID INSULATION SEALED TO PROVIDE VAPOUR BARRIER 1x4 WOOD FURRING @ 16" O/C 5/8" GYPSUM BOARD	INT.

- ### WALL ASSEMBLY NOTES
- FOR EXTERIOR CLADDING (INCLUDING STONE VENEER) FASTENING REQUIREMENTS SEE CLADDING STRUCTURAL ENGINEER.
  - FOR LOCATION OF SHEAR WALLS SEE STRUCTURAL DRAWING.
  - FOR STUDS DIMENSION & SPACING AT LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS (BEARING WALL SCHEDULE).
  - ALL LOAD BEARING WALLS REQUIRED 1 HR FIRE RATING (FOR LOCATIONS OF LOAD BEARING WALLS SEE STRUCTURAL DRAWINGS).
  - CONCEALED SPACES IN INTERIOR WALLS & CEILINGS TO BE SEPARATED FROM CONCEALED SPACES IN EXTERIOR WALLS & ATTIC OR ROOF SPACES BY FIREBLOCKS.
  - CONCEALED SPACES WITHIN A WALL ASSEMBLY TO BE FIREBLOCKED AT EVERY CEILING LEVEL REQUIRED TO HAVE A FIRE RESISTANCE RATING SO THAT THE MAXIMUM HORIZONTAL DIMENSION IS 20M/21'5"2" & THE MAXIMUM VERTICAL DIMENSION IS NOT MORE THAN 3M/9'-10".
  - ALL PENETRATION OF FIRE RATED WALL REQUIRED TO USE APPROVED FIRE STOPPING APPLICATION BY CONSULTANTS AND CITY OF NANAIMO INCLUDING INTERIOR LOADBEARING WALLS INSIDE UNITS
  - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL LAYER(S) OF PLYWOOD AS REQUIRED FOR SHEAR WALLS.
  - VERTICAL PLYWOOD STRAPPING FOR CLADDING TO ALIGN W/WOOD STUDS OR SOLID BLOCKING IN FRAME WALLS.

**ADDITIONAL WALL TYPES  
SEE DRAWINGS A5.1 - A5.3**

FLOOR PLAN LEGEND		
	EXTERIOR ELEVATION NUMBER (SEE A3 SERIES DRAWINGS) SHEET NUMBER	
	BUILDING SECTION NUMBER (SEE A4 SERIES DRAWINGS) SHEET NUMBER	
	DETAIL NUMBER (SEE A7 SERIES DRAWINGS) SHEET NUMBER	
	ROOM NAME & NUMBER SEE ROOM FINISH SCHEDULE	
	DOOR &/OR SCREEN NUMBER SEE DOOR SCHEDULE	
	EXTERIOR WINDOW NUMBER SEE WINDOW SCHEDULE	
	TOP OF FLOOR ELEVATION	
	EXTERIOR WALL BELOW	
	EXTERIOR WALL/BEAM/ROOF ABOVE	

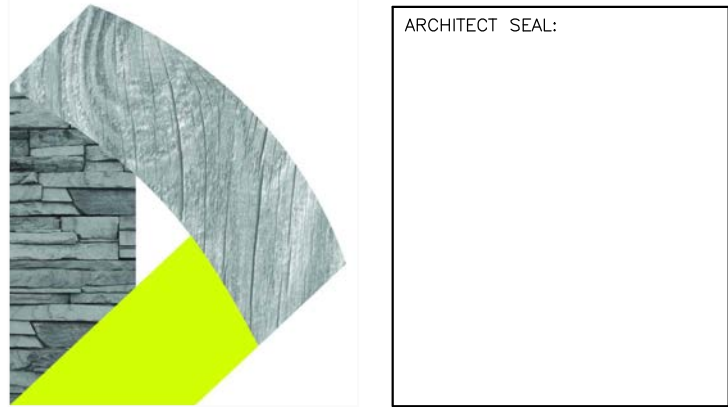
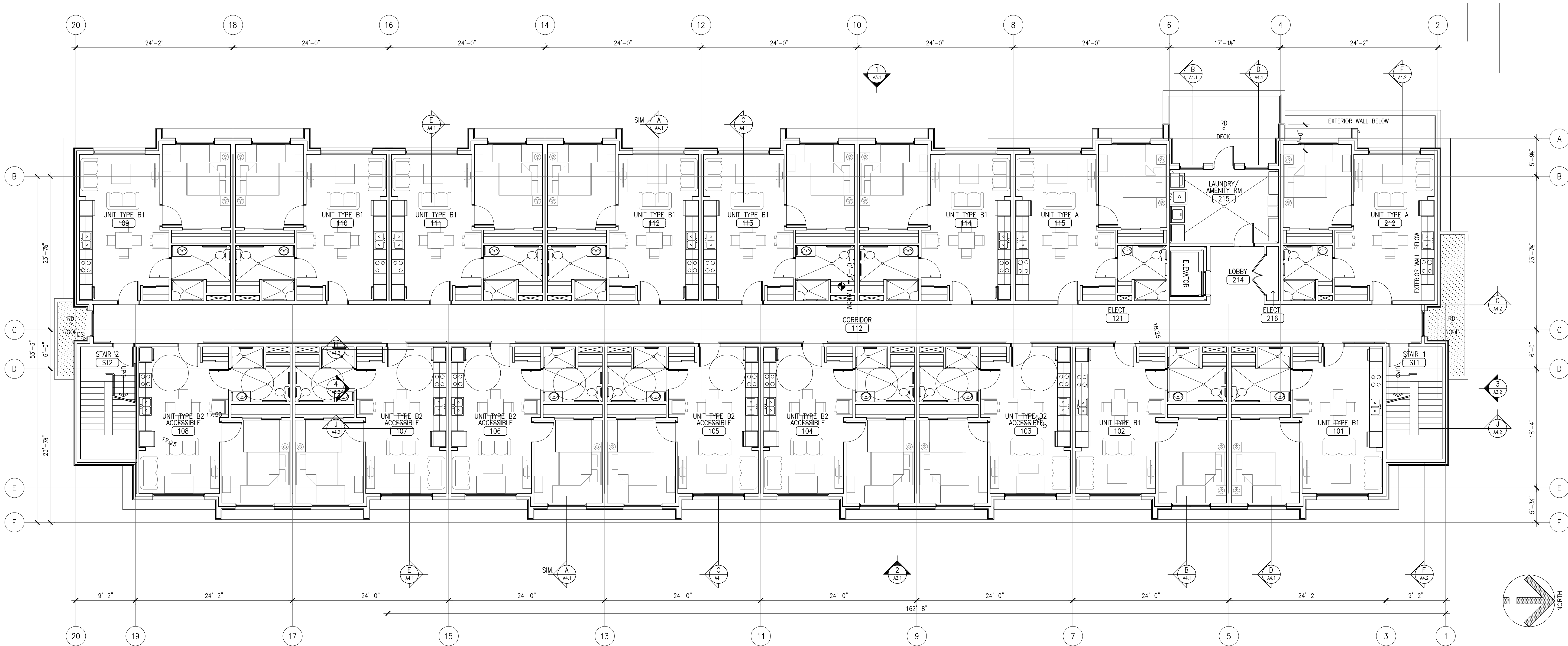
- ### GENERAL NOTES
- ALL CONSTRUCTION TO COMPLY WITH PART 3 OF THE 2012 BC BUILDING CODE, EXCEPT WHERE LOCAL LAWS TAKE PRECEDENCE.
  - CONTRACTOR TO REPORT ALL ERRORS OR OMISSIONS IMMEDIATELY & PRIOR TO THE COMMENCEMENT OF THE WORK.
  - ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONTINUING ANY PORTION OF THE WORK.
  - CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UNDERGROUND SERVICES AND ANY DAMAGE CAUSED BY THE WORK.
  - CONTRACTOR TO ENSURE SMOOTH CONTINUOUS DRAINAGE AWAY FROM THE BUILDING TO DRAIN POINTS.
  - SEE CIVIL DRAWINGS FOR BUILDING FLOOR ELEVATIONS, SITE GRADING & ROAD DIMENSIONS.
  - SEE LANDSCAPE DRAWINGS FOR PLANTING, FENCING, TRELLISES, ARBOURS & OTHER SITE FEATURES.
  - DIMENSIONS IN IMPERIAL UNLESS NOTED OTHERWISE.
  - EXTERIOR WALL DIMENSIONS ARE TO FACE OF PLYWOOD UNLESS NOTED OTHERWISE. INTERIOR WALL DIMENSIONS ARE TO CENTRELINE UNLESS NOTED OTHERWISE.
  - PROVIDE MISCELLANEOUS STUDS, BRACING, FURRING OR BLOCKING AS REQUIRED.
  - MAINTAIN ACOUSTIC SEPARATION @ RECESSED FIXTURES & EQUIPMENT.
  - CONFIRM WINDOW AND DOOR ROUGH OPEN SIZES WITH SUPPLIERS. SIZES ON DRAWINGS ARE NOMINAL.
  - SEE SERIES A5 DRAWINGS TYPICAL UNIT PLANS & STAIR PLANS FOR ADDITIONAL DIMENSIONS, NOTES & WALL TYPES.

**TYPICAL UNIT, STAIR & ELEVATOR  
PLANS - SEE DRAWINGS A5.1 - A5.3**

NOTE: This drawing as an instrument of service is the property of Daryoush Firoozli Architecture Inc. and may not be reproduced without their permission and unless the reproduction carries their name. All details and other information shown on the drawing are for use on the specified project only and shall not be used otherwise without written permission of this office.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from dimensions and conditions shown on the drawing. Shop drawings shall be submitted to this office for approval before proceeding with fabrication.

NO.	DATE	REVISIONS
1	JUL 7/25	ISSUED FOR NEW RE-ZONING REVIEW



**D-ARCHITECTURE**  
6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4  
T: 250-933-1991, E: FIROUZLI@SHAW.CA  
DARYOUSH FIROUZLI ARCHITECTURE INC.

PROJECT  
**RAINBOW GARDENS  
RG31**  
5350 RUSSELL STREET  
PORT ALBERNI, BC

CLIENT  
**The WestCoast Native  
Healthcare Society**  
TSWANANULS • KWAHAKS • HILIPITAS

CONTRACTOR  
**IWCD**

PROJECT NO. 2964

SHEET TITLE  
**SECOND FLOOR PLAN**

SCALE  
1/8" = 1'-0"

DRAWN  
D.F.

CHECKED  
D.F.

DATE  
JUL 7/24

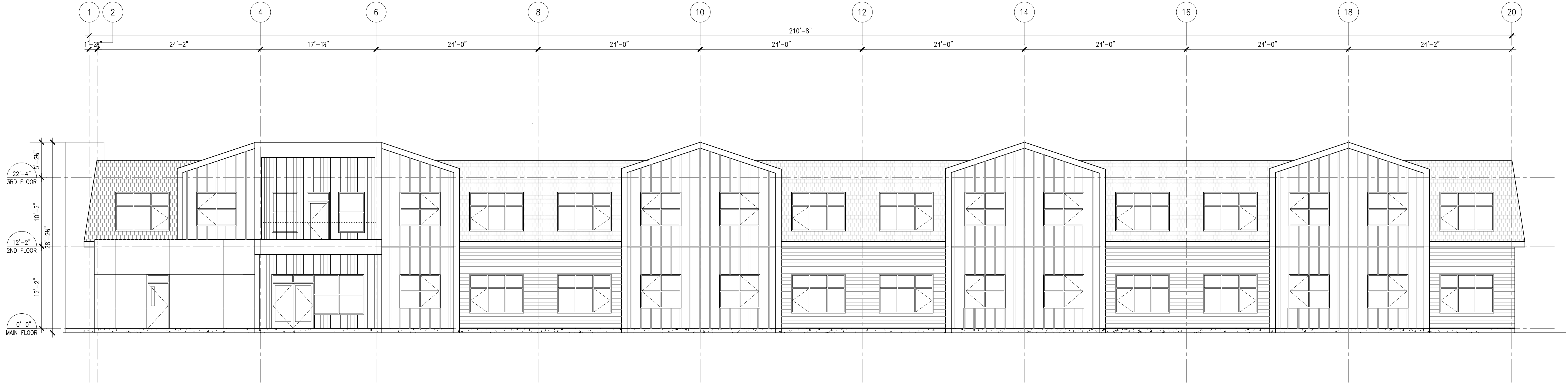
SHEET NO.  
**A2.2**

REVISION

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NO	DATE	REVISIONS
1	JUL 7/25	ISSUED FOR NEW RE-ZONING REVIEW



WEST EXTERIOR ELEVATION 1  
1/8"=1'-0" A2.1



EAST EXTERIOR ELEVATION 2  
1/8"=1'-0" A2.1

ELEVATIONS LEGEND

- HARDENWELL SIDING  
SMOOTH FINISH  
AT BLACK WATER
- HARDENWELL SIDING  
SMOOTH FINISH  
PEARL GRAY
- PREFINISHED METAL CLADDING  
WESTERN METAL BOARDS 12  
COPPER PERRY
- PREFINISHED METAL CLADDING  
VERTICAL CORRUGATED  
CHOCOLATE GREY
- PREFINISHED METAL CLADDING  
VERTICAL CORRUGATED  
COLOUR TBS
- CULTURED STONE VENEER  
COLOUR TBS
- CONCRETE FACED INSULATION  
PAINT FINISH TBS
- ROOF MEMBRANE
- PREFINISHED ALUMINUM SOFFIT  
AT BLACK WATER
- PREFINISHED ALUMINUM CLADDING  
W/TEMPERED GLASS PANELS
- WIND OR ALUMINUM WINDOW  
W/ OPENING CASSETTE  
W/INSET SCREEN
- WIND OR ALUMINUM WINDOW  
VERTICAL SLIDER  
W/INSET SCREEN
- STEEL WIND OR ALUMINUM DOOR  
SEE DOOR OR WINDOW SCHEDULE



ARCHITECT SEAL:

**D-ARCHITECTURE**  
6377 IDARUS DRIVE, NANAIMO, BC V9V 1N4  
T: 250-933-1991, E: FIROUZLI@SHAW.CA  
DARYOUSH FIROUZLI ARCHITECTURE INC.

PROJECT  
**RAINBOW GARDENS  
RG31**  
5350 RUSSELL STREET  
PORT ALBERNI, BC

CLIENT  
**The WestCoast Native  
Healthcare Society**  
TSWANANULS • STAWPS • HILUPSTAS

CONTRACTOR  
**IWCD**

PROJECT NO. 2964

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SCALE  
1/8"=1'-0"

DRAWN  
✱

CHECKED  
D.F.

DATE  
JUL 7/24

SHEET NO.  
**A3.1**

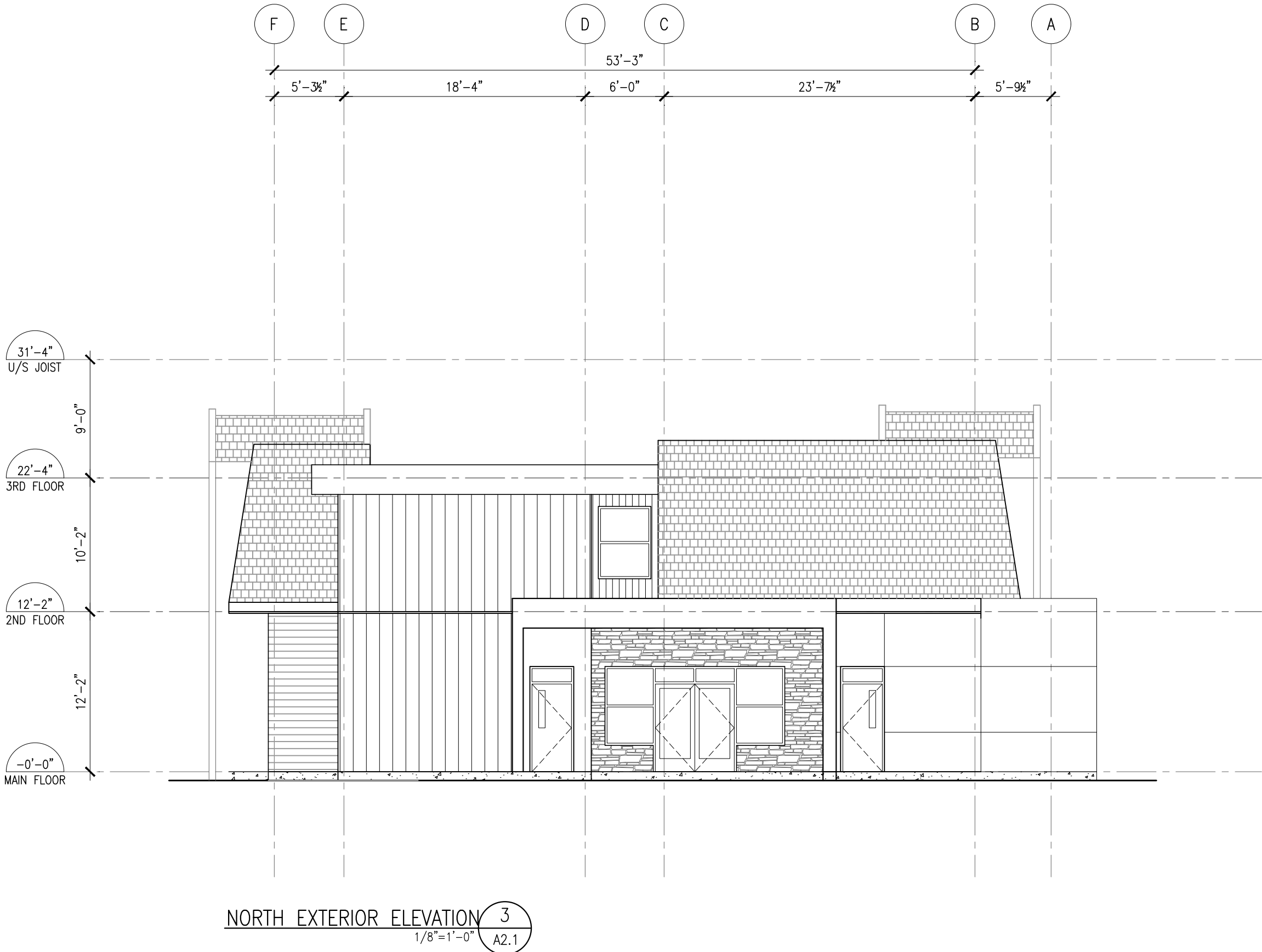
REVISION



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NO.	DATE	REVISIONS
1	JUL 7/25	ISSUED FOR NEW RE-ZONING REVIEW



#### ELEVATIONS LEGEND

- HARDENWEL SIDING  
SMOOTH FINISH  
JH BLACK WATER
- HARDENWEL SIDING  
SMOOTH FINISH  
PEARL GRAY
- PREFINISHED METAL CLADDING  
WESTERN METAL BRIDGLOK 12  
COPPER PERRY
- PREFINISHED METAL CLADDING  
VERTICAL CORRUGATED  
CHAMCOOL GREY
- PREFINISHED METAL CLADDING  
VERTICAL CORRUGATED  
COLOUR TBD
- CULTURED STONE VENEER  
COLOUR TBD
- CONCRETE FACED INSULATION  
PAINT FINISH TBD
- ROOF MEMBRANE
- PREFINISHED ALUMINUM SCOTTE  
JH BLACK WATER
- PREFINISHED ALUMINUM CLADDING  
W/TEMPERED GLASS PANELS
- WIND OR ALUMINUM WINDOW  
W/TEMPERED GLASS  
W/INSECT SCREEN
- WIND OR ALUMINUM WINDOW  
VERTICAL SLIDER  
W/INSECT SCREEN
- STEEL, VINYL OR ALUMINUM DOOR  
SEE DOOR OR WINDOW SCHEDULE



ARCHITECT SEAL:

#### D-ARCHITECTURE

6377 ICARUS DRIVE, NANAIMO, BC V9V 1N4  
T: 250-933-1991, E: FIROUZLI@SHAW.CA  
DARYOUSH FIROUZLI ARCHITECTURE INC.

PROJECT  
**RAINBOW GARDENS**  
**RG31**  
5350 RUSSELL STREET  
PORT ALBERNI, BC

CLIENT



CONTRACTOR



PROJECT NO.

2964

SHEET TITLE

**EXTERIOR ELEVATIONS**

SCALE

1/8"=1'-0"

DRAWN



CHECKED

D.F.

DATE

JUL 7/24

SHEET NO.

**A3.2**

REVISION

RECEIVED

JUL 16 2025

CITY OF PORT ALBERNI

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input type="checkbox"/> Mayor	<input checked="" type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input type="checkbox"/> Other
File #	8100-20-ADFA

July 16, 2025

Director of Corporate Services  
corp\_serv@portalberni.ca

Re: Request for Permission to Hold Annual Parade

On behalf of the Alberni District Fall Fair, I am writing to formally request permission from the City of Port Alberni to host our annual parade on Friday, September 6th, commencing at 11:00 a.m.

Our parade is a cherished community tradition that brings together residents and visitors to celebrate our vibrant spirit. We kindly ask for the City's support for the 2025 parade.

The Alberni District Fall Fair has drawn up a Traffic Management Plan that will be forwarded to your Engineering Dept. for approval. See attached. Last year we relocated because of construction on our traditional route of Burde Street along 10<sup>th</sup> Avenue. We are pleased the project is complete and intend to move back to that location.

We are committed to working closely with City officials and local authorities to coordinate all required logistics, including traffic management, crowd control, and cleanup. Our team will ensure contact between local RCMP, BC Ambulance, Port Alberni Fire Dept., BC Transit of the planned parade, route and times. Our insurance broker will supply the city with a certificate of insurance naming the City of Port Alberni in the amount of 5 million general liability insurance coverage. We will be compliant with all municipal regulations and guidelines to ensure a safe and enjoyable experience for all participants and spectators.

Please let us know if there are any forms, we need to complete or additional information required at this stage.

Thank you very much for considering our request. We look forward to your positive response and to another successful parade that brings our community together.

Sincerely,

*Ann Siddall*

Ann Siddall  
Administrator



## TRAFFIC MANAGEMENT FOR THE 2025 PARADE

### Arrowsmith Amateur Radio Club (marshaling and placing entries)

- We intend to move the parade back up to 12<sup>th</sup> Avenue and Burde Street as the streets are much wider for placing the entries.
- We will be notifying all residents along 12<sup>th</sup> Avenue of the parade taking place.
- We will advertise in print media and on our social media platforms of a community parade taking place
- We will have barricades with signage at Anderson Avenue and Burde Street notifying motorists of a detour.

**8 QUALIFIED TICKETED FLAGGERS** will be at the following sites by 10:15am to monitor and close the following streets at:

- Burde Street at 10<sup>th</sup> Ave
- Bute Street at 10<sup>th</sup> Ave
- Redford Street at 10<sup>th</sup> Ave
- Wallace Street at 10<sup>th</sup> Ave
- Roger Street

**BARRICADES & DETOUR SIGNS** – we have a group that is willing to place the barricades then take them down and return to the fair grounds at the conclusion of the parade

We would like to utilize barricades and signage at the following locations:

- Anderson Avenue and Burde Street with detour signs directing traffic to Redford St. or to North Park Drive
- North Park Drive of detour ahead and road closers for 1 hour
- 10<sup>th</sup> Ave and Burde St on the west, south and north sides of the streets
- Bute Street and 9<sup>th</sup> Ave with detour signs directing traffic to Redford Street or Burde Street
- 10<sup>th</sup> Ave at Redford St. on the west side and east side
- 10<sup>th</sup> Ave at Morton St on west side and east side
- 10<sup>th</sup> Ave at Maitland St. on the west side and east side
- 10<sup>th</sup> Ave at Roger St. on the west side and east side
- 10<sup>th</sup> Ave at Dogwood St. on the west side.

#### **OTHER SIGNAGE**

- The Alberni District Fall Fair will place temporary road closure "Parade in Progress" signage with times of the parade at the Y before making a left hand turn into the City of Port Alberni
- At Maybelle Rd
- Entering into Port Alberni at the hospital
- On the following east and west side streets: Burde, Bute, Redford, Morton, Maitland, Roger Streets and signage on 10<sup>th</sup> Avenue at Dunbar Street, and again at North Park Drive on east and west sides.

#### **Contact:**

Director

L [REDACTED] Goddard



Or

Ann Siddall

Administrator







Branch 293  
Port Alberni

Royal Canadian Legion  
Alberni Valley Branch 293

4680 Victoria Quay  
Port Alberni BC V9Y 6G5  
Tel: 250-723-5042  
Fax: 778-721-1124  
email rclav293@shaw.ca

RECEIVED

AUG 05 2025

CITY OF PORT ALBERNI

July 30, 2025

Mayor & Council Members of the  
City of Port Alberni.  
4850 Argyle Street  
Port Alberni, BC  
V9Y 1V8

<input type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input checked="" type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input type="checkbox"/> Agenda	<input type="checkbox"/> Other

File # 0230-20-Royal Can. Legion

Hello my name is Shannon and I'm from the Royal Canadian Legion #293, here in Port Alberni.  
We would like to make amendment to the original letter to you dated July 4, 2025

When reviewing our original route for our parade in 2026 it showed that there would be heavy congestion at the Corner of Victoria Quay and Johnston Street. So before there is a problem with congestion we have rerouted the Parade. Please see new route.

Still an 11:00 start at the corner of 10<sup>th</sup> and Roger. The Parade would proceed down Roger turn right on Gertrude along Gertrude to Johnston, proceed through Johnston, to Burke Street, from here continue down Burke to Legion hall. .

We thank you for your continued support of the Royal Canadian Legion Branch 293

We appreciate your assistant in this matter

Shannon Doré  
Chair of the 100<sup>th</sup> Year Celebrations

Jenny Neuwirth  
Co-chair of the 100 Year Celebrations





Branch 293  
Port Alberni

RECEIVED

JUL 24 2025

CITY OF PORT ALBERNI

Royal Canadian Legion  
Alberni Valley Branch 293

4680 Victoria Quay  
Port Alberni BC V9Y 6G5  
Tel: 250-723-5042  
Fax: 778-721-1124  
email rclav293@shaw.ca

July 4, 2025

Mayor & Council Members of the  
City of Port Alberni.  
4850 Argyle Street  
Port Alberni, BC  
V9Y 1V8

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Council            | <input type="checkbox"/> Economic Development      |
| <input type="checkbox"/> Mayor                         | <input checked="" type="checkbox"/> Engineering/PW |
| <input checked="" type="checkbox"/> CAO                | <input type="checkbox"/> Parks, Rec. & Heritage    |
| <input type="checkbox"/> Finance                       | <input type="checkbox"/> Development Services      |
| <input checked="" type="checkbox"/> Corporate Services | <input type="checkbox"/> Community Safety          |
| <input type="checkbox"/> Agenda                        | <input type="checkbox"/> Other _____               |

File # 0230-20-5 Royal Can. Legion

Hello my name is Shannon and I'm from the Royal Canadian Legion #293, here in Port Alberni.

In 2026 the Royal Canadian Legion will be celebrating their 100<sup>th</sup> Anniversary in Port Alberni, and we are thinking about possibly celebrating this event with a parade. Our thoughts are to hold this event on May 30, 2026.

We are also thinking, of possibly starting this parade about 11:00am with marshalling about 10:00. We would like to start at the corner of 10<sup>th</sup> and Roger, with Marshalling along 11<sup>th</sup> and Anderson, possibly using ADSS Parking Lot and Bull Dogs Parking Lot and Possible Athletic Hall Parking. The Parade would proceed down Roger turn right on Gertrude along Gertrude to Johnston, turn left on Johnston, down Johnston to Victoria Quay and proceed to Legion hall. At the Hall once members show up we will be having an open House, to show the 100 years of memorabilia.

We are inviting all legion members and Veterans, from our Legion Hall plus all Legions in our zone on Vancouver Island to join in. We will be asking our local Pipe band, Fire halls and RCMP to march with us. Hoping to have the support of the Golden oldies vehicles to transport some of our disabled.

Hoping for your support, please let us know if needing more information!

Appreciate any help in this matter

Shannon Doré  
Chair of the 100<sup>th</sup> Year Celebrations

Jenny Newirth  
Co-chair of the 100 Year Celebrations



RECEIVED

JUL 17 2025

CITY OF PORT ALBERNI

July 17, 2025

City of Port Alberni  
4850 Argyle Street  
Port Alberni, BC V9Y 1V8

☒ Council  
☒ Mayor  
☒ CAO  
☒ Finance  
☒ Corporate Services  
☒ Agenda  
☐ Economic Development  
☐ Engineering/PW  
☐ Parks, Rec. & Heritage  
☐ Development Services  
☐ Community Safety  
☐ Other  
File # ECM August 11  
0230-20-AUCFC

Attention: Mayor Minions and Council

Dear Mayor Minions:

The Volunteer Board of Directors of the Alberni Valley Community Forest Corporation advertised for request for proposals for donation support and 4 organizations put forward applications for funding. The Board of Directors request the donation funds for 2025 be allocated as follows:

- \$5,000 allocated to the Black Lambs Rugby organization for equipment to support the major increase in in athlete participation over the 2024 season.
- \$2500 allocated to the 8<sup>th</sup> Avenue Learning Centre and Usma Child and family services to support the food sustainability and summer garden program.
- \$2500 allocated to the PA Picklers along with the Sunshine Club to be part of a much larger plan to expand the availability of pickle ball facilities and equipment.

Thank you for your consideration and we look forward to being part of the projects as outline above.

Please let us know if you would like more clarification.

Sincerely,

  
Jim Sears

Alberni Valley Community Forest Corporation  
Board Chair

RECEIVED

AUG 05 2025

CITY OF PORT ALBERNI

Uptown Merchants Association  
3025 3<sup>rd</sup> ave  
Port Alberni B.C.  
V9Y 2A5  
[REDACTED]

July 31, 2025  
Mayor and Council  
City of Port Alberni  
4850 argyle st  
Port Alberni B.C.

<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input checked="" type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input type="checkbox"/> Agenda	<input type="checkbox"/> Other _____

File # 0230-20 SUMA

Dear Mayor and Council  
Regarding Uptown Market Road closure  
We are once again holding and Uptown Market  
We would like to block of the road on 3<sup>rd</sup> ave from Mar to Argle  
The date we have chosen is Wednesday August 27<sup>th</sup>, 2025  
As we have done this before we are aware of the requirments with road closure procedures and insurance  
we look forward to hearing back at your earliest convenience

Thank you  
C [REDACTED] Zanette  
Uptown merchants

RECEIVED

JUL 17 2025

CITY OF PORT ALBERNI

July 16, 2025

To Our Local Elected Representatives,

<input checked="" type="checkbox"/> Council	<input checked="" type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input type="checkbox"/> Other _____
File #	8400-01



I write today to ask for your support on behalf of your represented community for an important service enhancement at the Comox Valley Airport (YQQ). We have submitted a formal request to the Canada Border Services Agency (CBSA) seeking a change in our Airport of Entry (AOE) designation from AOE 160 to AOE 220 for Winter charter operations. This change would allow us to increase our very popular seasonal international flights, particularly to Mexico, in response to strong and growing regional demand.

The Comox Valley Airport has offered direct flights to Mexico since 2004, and the last two winter charter seasons have each seen over 10,000 passengers enjoy direct WestJet service to and from Puerto Vallarta. With demand continuing to grow, WestJet has expressed interest in expanding this service further. However, the viability of such growth is at risk under the newly implemented CBSA cost-recovery model and strict adherence to AOE limitations. For the first time in recent memory, CBSA instituted cost-recovery for this past charter season, specifically for the Sunday evening flight and invoiced \$84,000 for the 20 flights. Saturday evening flights were limited to the smaller, less efficient Boeing 737-700 due to the requirement to keep the passenger load below 160 AOE limitations.

This proposed change would provide CBSA service on Fridays, Saturdays, and Sundays from 16:00 to 24:00, during the peak season from October 15 to May 15. It represents a strategic opportunity to improve travel options for Island and Powell River residents while supporting economic resilience and sustainability through more efficient aircraft and reduced environmental impact. It meets the needs of our travellers by providing direct service to Mexico without the need for a stop in Vancouver or Calgary.

As part of our submission to CBSA, we are collecting letters of support from across our region. Your voice would significantly strengthen our request. If you are willing, we would greatly appreciate receiving a letter of support at your earliest convenience. Letters can be addressed to:

Kevin Charlton  
Director West Coast & Yukon Division  
Canada Border Services Agency  
400-1321 Blanshard Street  
Victoria, BC V8W 0B6

Letters can be submitted via email to us directly at [YQQAdmin@comoxairport.com](mailto:YQQAdmin@comoxairport.com) and we will include them in our formal package.

Thank you in advance for your consideration and continued support of YQQ. Please do not hesitate to reach out if you have any questions or require assistance with preparing a letter.

Warm regards,

Mike Atkins  
CEO  
Comox Valley Airport Commission

1250 Knight Road, Comox, British Columbia, Canada V9M 4H2 : [comoxairport.com](http://comoxairport.com)



AUG 05 2025

CITY OF PORT ALBERNI

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| <input checked="" type="checkbox"/> Council | <input type="checkbox"/> Economic Development              |
| <input checked="" type="checkbox"/> Mayor   | <input type="checkbox"/> Engineering/PW                    |
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| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Community Safety                  |
| <input type="checkbox"/> Other              | <input type="checkbox"/> Other                             |
- Agenda Rcm Aug 11/25  
File # 8100-20-TR

City of Port Alberni City Council:

This year will be the 41<sup>st</sup> annual Port Alberni Toy Run on September 13th & 14th, 2025.

We are requesting that the week of September 8-14, 2025 be designated as "Port Alberni Toy Run Week" in the City of Port Alberni.

We greatly appreciate your continued support through the Community Investment Program to cover the costs of renting Glenwood Centre, tents, barricades, tables, chairs and other city assets contributed to Toy Run.

We would also appreciate the use of the skate shop area in Glenwood Centre as formerly.

In the past 40 years we have raised almost \$3 million in toys and money for the children and families of the Alberni Valley and surrounding area.

With your help we have become the largest fundraising event in the Alberni Valley and the largest motorcycle event in Western Canada, attracting as many as 1500 motorcycles for Toy Run Weekend.

If you have any questions, please contact me at [REDACTED] or patoyrun@gmail.com

Sincerely;

[REDACTED]

D [REDACTED] Wiwchar, past-chairman - Port Alberni Toy Run Society  
For M [REDACTED] Craig, Chair, Port Alberni Toy Run Society.

Port Alberni Toy Run - PO Box 1352, Port Alberni, BC, V9Y7M2





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File # <i>RCM Aug-11</i>	
File # <i>0400-20-FWR</i>	

July 22, 2025

**RE: Heritage Conservation Act Transformation Project – Update and Phase 3 Engagement Opportunities (Summer-Fall 2025)**

I am pleased to provide an update on the Heritage Conservation Act Transformation Project (HCATP) and invite local governments to participate in engagement on proposed legislative changes.

**Background**

The HCATP aims to reform the *Heritage Conservation Act* (HCA) to ensure it is consistent with the UN Declaration on the Rights of Indigenous Peoples (UN Declaration) and improve its administration to the benefit of all people in B.C.

The Joint Working Group on First Nations Heritage Conservation (JWGFNHC), which includes members appointed by the First Nations Leadership Council and the B.C. Provincial government, has been leading the transformation process as well as coordinating broad engagement with First Nations, local governments and stakeholders to date. We would like to thank those who attended and provided valuable input in Phases 1 and 2 of engagement (2022 and 2023).

**Project Update**

In early 2025, the JWGFNHC prepared a submission for the B.C. Provincial government to seek direction on the scope and timing of potential legislative amendments to the HCA, informed by feedback heard in previous phases of engagement.

Based on the direction received, the HCATP is now proceeding into Phase 3 of the project: developing proposed legislative amendments for B.C. Provincial government direction in late fall 2025 with a target to introduce new legislation in spring 2026. Additional project information is available on the public-facing HCATP website:

<https://engage.gov.bc.ca/heritageconservationact/>

### **Engagement Opportunities**

Engagement during this phase of the project will seek input on how the policy intentions informed by previous engagement will be implemented through legislative and regulatory changes.

#### ***Dedicated Local Government Engagement Session***

An engagement session focused on local governments is planned for August 12, 2025. This session will provide an opportunity for meaningful discussion on proposed amendments.

**Please sign up for this session at the following registration link:**

<b>Date &amp; Time</b>	<b>Registration Link</b>
<b>August 12, 2025 9am-12pm Pacific Daylight Time (PDT)</b>	<a href="https://events.teams.microsoft.com/event/7f2d0c52-2b48-4cf9-89e5-5cda86551549@6fdb5200-3d0d-4a8a-b036-d3685e359adc">https://events.teams.microsoft.com/event/7f2d0c52-2b48-4cf9-89e5-5cda86551549@6fdb5200-3d0d-4a8a-b036-d3685e359adc</a>

#### ***Additional sessions***

Two broad engagement sessions for stakeholders are planned between August and September. If you are unable to attend the session on August 12, 2025, specific to local governments, you are welcome to attend either of these sessions. Please be advised that these sessions are designed for all stakeholders.

<b>Date &amp; Time</b>	<b>Registration Link</b>
<b>August 20, 2025 9am-12pm PDT</b>	<a href="https://events.teams.microsoft.com/event/081f6176-bfac-4278-bf67-95db3834debe@6fdb5200-3d0d-4a8a-b036-d3685e359adc">https://events.teams.microsoft.com/event/081f6176-bfac-4278-bf67-95db3834debe@6fdb5200-3d0d-4a8a-b036-d3685e359adc</a>
<b>September 17, 2025 1pm-4pm PDT</b>	<a href="https://events.teams.microsoft.com/event/de414d42-9114-4edf-bee6-5515f9c12fa1@6fdb5200-3d0d-4a8a-b036-d3685e359adc">https://events.teams.microsoft.com/event/de414d42-9114-4edf-bee6-5515f9c12fa1@6fdb5200-3d0d-4a8a-b036-d3685e359adc</a>

An information package will be sent out to registrants in advance of the sessions.

Some organizations may host additional engagement sessions (e.g., Business Council of British Columbia), so please look for these invitations if you are a member. We welcome local governments to attend any of the above referenced engagement sessions.

#### ***Written Feedback***

Written input on the project is also welcomed throughout this process. Please direct written feedback, before October 1, to [EngageHCA@gov.bc.ca](mailto:EngageHCA@gov.bc.ca).



### *Next Steps Following Engagement*

Following consultation and cooperation with First Nations, engagement with local governments, stakeholders and the public this summer, a submission of proposed legislative amendments to the HCA will be prepared.

### **Closing Comments**

We look forward to these important discussions in the upcoming sessions. If you have any questions regarding the project and/or upcoming engagement, please send an email to [EngageHCA@gov.bc.ca](mailto:EngageHCA@gov.bc.ca).

Sincerely,



---

Jillian Rousselle  
Assistant Deputy Minister  
Forest Resiliency and Archaeology  
Ministry of Forests

RECEIVED

JUL 04 2025

CITY OF PORT ALBERNI



LEGISLATIVE ASSEMBLY  
of BRITISH COLUMBIA

☒ Council  
☒ Mayor  
☒ CAO  
☐ Finance  
☒ Corporate Services  
☒ Agenda  
☒ Economic Development  
☐ Engineering/PW  
☐ Parks, Rec. & Heritage  
☒ Development Services  
☐ Community Safety  
☐ Other  
File # 0400-20-MLA **Aug 11 / 25 Rcm**

Josie Osborne, MLA  
Mid Island-Pacific Rim  
3945B Johnston Rd  
Port Alberni, BC V9Y 5N4



July 4<sup>th</sup>, 2025

Dear Elected Officials,

As the MLA for Mid Island – Pacific Rim, I wanted to take the opportunity to reach out to you directly and share that the BC Community Housing Fund (CHF) is now accepting applications for their fourth round of funding.

From the Headwaters buildings in Tofino, to the Maitland Street Project in Port Alberni, and the Beulah Creek Housing project on Hornby Island – the CHF has helped us build partnerships with local governments, First Nations and non-profits that have resulted in hundreds of new affordable housing units in our region.

Even with these projects complete or underway, we know that people in our communities are still struggling to find reasonably priced homes that meet their needs. That's why BC Housing is putting out its fourth call for the CHF, and with \$775 million in funding available to create approximately 4,600 new, affordable homes for people in B.C.

Requests for proposals opened on May 30th using a rolling Request for Proposals (RFP) approach, meaning project submissions will be accepted on an ongoing basis – without a fixed deadline - until CHF funding is depleted.

I am also pleased to report that the Province has listened to feedback provided in previous rounds of funding, and the application process has been improved with clearer forms that are easier to fill out, along with a more streamlined evaluation process.

Funding is available to non-profit housing organizations, housing co-operatives, municipalities, First Nations and Indigenous-led housing societies. Information on the application process is available here: <https://www.bchousing.org/projects-partners/Building-BC/CHF> and I have also attached a fact sheet put together by BC Housing.

Should you choose to submit a proposal, I would be very pleased to provide a letter of support that can be included with your application. I would also like you to know that my office has access to researchers at the Legislative Library and if you are looking for funding for a different type of project, we are always happy to conduct a funding search for you, which includes local, provincial, federal and private funding streams.

Thank you for all the work you do for our community and please do not hesitate to reach out to my office for a support letter, or with any questions/comments you may have.

All my best,

Josie Osborne, MLA  
Mid Island-Pacific Rim

jo:am BCGEU



# Community Housing Fund

## Request for Proposals

The **Community Housing Fund** was created by the Province of British Columbia in 2018. This fund is a \$3.3-billion investment to build more than 20,000 affordable rental homes for people with low and moderate incomes by 2031–32. More than 13,000 of these homes are open or underway across the province.

Through this Request for Proposals (RFP), BC Housing invites eligible applicants to help deliver the remaining homes.

### What is happening?

On May 30, 2025, BC Housing issued a Community Housing Fund **Request for Proposals (RFP)**.

This is a rolling RFP, meaning proposals will be accepted on an ongoing basis — with no fixed deadline. The rolling format allows applicants to take more time to develop a comprehensive application package.

### Who can apply?


- Non-profit, co-operative, municipal housing providers and First Nations.
- Public/private partners are permitted to apply on behalf of non-profit societies, Indigenous groups, co-operative and municipal housing providers.

### Who can live here?

The Community Housing Fund develops housing for individuals, couples, families, seniors, and people with disabilities, capable of living independently without on-site support services.

Proposals may include housing for priority groups including:

- Women and their children experiencing or at risk of violence.
- Youth, including those transitioning out of care.
- Individuals leaving transitional or supportive housing.
- Equity and/or rights-seeking community members.
- Other priority groups consistent with the Community Housing Fund guidelines.



This proposal call prioritizes construction-ready housing projects that balance regional and municipal needs, including those of rural and remote communities.

Proposals should also demonstrate a strong commitment to equity and Indigenous Reconciliation, in alignment with the values of the Community Housing Fund.



# Request for Proposals | Mixed Income Rental Housing

The **Community Housing Fund** supports the development and operations of mixed-income rental housing for low- and moderate- income households.

## Required mix of rental units

To be considered for funding, a proposed project must reflect the following mix of rental units and income eligibility.

30%

### Low to Moderate Income Market Rent Units

Units for households with incomes up to BC Housing's limits (\$85,870/\$138,770). Requires proof of income and assets at move-in. Rents approved by BC Housing and residents selected by the provider.

50%

### Rent Geared to Income Units

Units for household incomes below Housing Income Limits but above deep subsidy. Requires proof of income and assets at move-in and annually. Rent varies based on Rent Geared to Income scale. Residents selected from the Housing Registry.

20%

### Deep Subsidy Income Units

Units for household incomes below BC Housing's deep subsidy limits. Requires proof of income and assets at move-in and annually. Rent varies based on Rent Geared to Income scale. Residents selected from the Housing Registry.

## Roles and responsibilities

Understanding the roles and responsibilities of each Community Housing Fund component is critical to successful delivery of funded proposals.



### Funding & Financing

#### The Community Housing Fund

is administered through BC Housing and provides a mix of grants, long-term financing, and operating subsidies to support the development and operations of rental housing for low- and middle- income households.



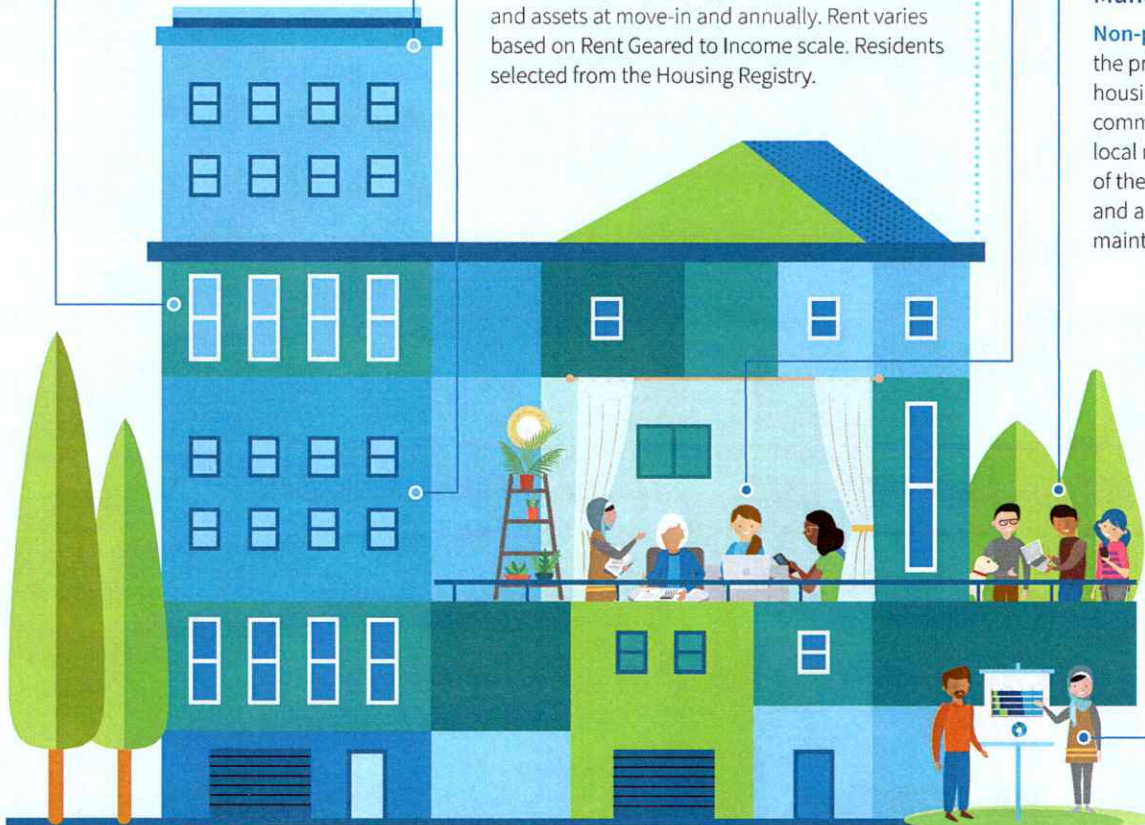
### Management & Operations

**Non-profit housing providers** manage the process of selecting residents for the housing projects, engage with the local community to ensure the project meets local needs, oversee the financial aspects of the project to ensure sustainability, and are responsible for the upkeep and maintenance of the funded project.



### Oversight & Support

**BC Housing** is responsible for selecting projects to be funded, providing technical assistance to ensure successful implementation, monitoring project progress and compliance, and enabling and supporting partnerships to enhance project outcomes.





## Request for Proposals | Requirements at a Glance

To qualify for funding evaluation, a **Community Housing Fund** applicant must ensure their proposal meets all minimum project requirements and that the submission package is complete.

### Minimum project requirements

To move forward to the evaluation stage, the project must meet core criteria:

- ☐ The applicant must be a non-profit society, housing co-operative, municipal housing provider, First Nation, or private organization partnership with one of the above entities who will ultimately hold ownership. Non-profit societies and housing co-operatives must be in good standing with the applicable corporate registrar.
- ☐ The applicant must have a mortgageable interest, that is a legal right to the land that can be used as collateral for a mortgage.
- ☐ No layering or cross-subsidy from other BC Housing programs is permitted.
- ☐ The proposed project must conform to land use zoning requirement and for projects on reserve land, the proponent must provide confirmation of support from the First Nation's governing body.
- ☐ The proposed project design must meet the CHF efficiency standard of 82% within +/- 5% (This is the percentage of space within the project allocated for residential purposes)
- ☐ Non-residential space cannot exceed 30%.
- ☐ Projects should include sprinklers and passive and/or active cooling measures to mitigate overheating risk.
- ☐ If a third-party development consultant is engaged, BC Housing's standard Development Consultant Agreement must be executed.
- ☐ The proponent must be able to commit to starting construction within 24 months of the Notice of Award.
- ☐ The proponent must demonstrate financial capacity as a borrower.
- ☐ Project construction budget costs must be validated by a construction manager or quantity survey and project operating budget expenses must be validated by a third party and/or by actual operating expenses from current, comparable affordable housing projects.

### Submission package checklist

To be considered complete, the proposal package must include the following:

- ☐ A completed and signed Submission Form.
- ☐ A completed Relationship and Conflict Disclosure Form.
- ☐ A completed Minimum Requirement Check List.
- ☐ Completed Response Form Templates Part A & B (Word) and Part C (Excel).
- ☐ Any additional documents specified in the Response Forms.
- ☐ A detailed, signed project schedule with milestones and approvals, confirming construction start within 24 months.

### Important

This page provides a summary of core submission requirements.

Applicants are advised to carefully review the full Request for Proposals (RFP) and follow submission guidelines.

These can be found at [bchousing.org/CHF-RFP](http://bchousing.org/CHF-RFP) or through BC Bid.





## Request for Proposals | Rolling Call for Submissions

BC Housing is currently accepting **Community Housing Fund** proposals to develop affordable housing for people with low and moderate incomes.

This **Request for Proposals (RFP)** invites project submissions that:

- Address community needs for affordable housing.
- Are ready to begin construction within 24 months.
- Provide housing solutions for priority populations.
- Operate within defined cost limits.
- Support a mix of rental units and income eligibility

Proposals that help meet BC Housing's regional targets—particularly in rural and remote communities—are strongly encouraged.

### Rolling RFP Format

This is a rolling RFP, meaning proposals are accepted on an ongoing basis, without a fixed deadline. This flexible approach

allows applicants time to prepare strong, comprehensive submissions.

To streamline the proposal review and evaluation process, BC Housing will use **sequential intake windows**—starting with **Proposal Intake A**, followed by **B, C, and D**. Each new intake will open shortly after the previous one closes.

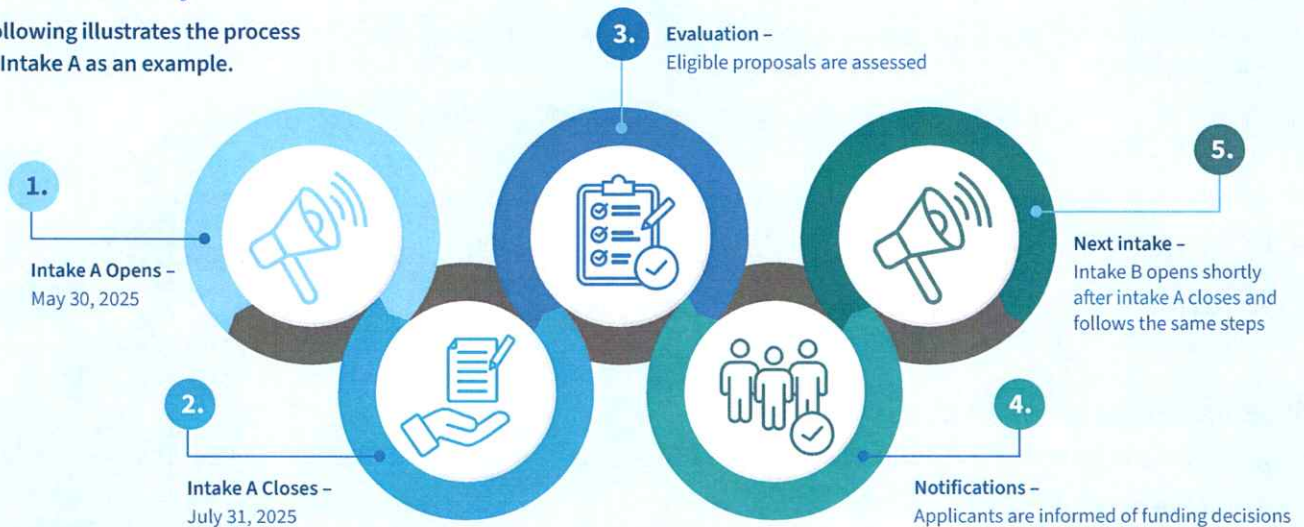
At the end of each intake period all proposals will be evaluated, and applicants will be notified of their funding status.

Applicants not selected for funding may be invited to resubmit in a future intake, provided they meet the conditions outlined in the RFP.

Timelines for future intakes B, C, and D will be announced as they are confirmed. The final intake, Proposal Intake D, is anticipated in spring 2026.

### Proposal Intake Cycle

The following illustrates the process using Intake A as an example.



### How to Apply

Proposals must be submitted online via BC Bid (preferred method), or by email to: [buildingbc@bchousing.org](mailto:buildingbc@bchousing.org).

See the Community Housing Fund RFP and appendices for comprehensive proposal submission requirements including evaluation criteria. Find these documents at [bchousing.org/chf-rfp](http://bchousing.org/chf-rfp) or through BC Bid.

Be sure to follow and use the instructions and templates provided by BC Housing.

### For more information



BC Housing website:  
[www.bchousing.org/chf-rfp](http://www.bchousing.org/chf-rfp)



Email:  
[buildingbc@bchousing.org](mailto:buildingbc@bchousing.org)



BC Bid website:  
[www2.gov.bc.ca/gov/content/bc-procurement-resources/bc-bid](http://www2.gov.bc.ca/gov/content/bc-procurement-resources/bc-bid)

June 16, 2025

**RECEIVED****JUL 14 2025****CITY OF PORT ALBERNI**Mayor Sharie Minions  
City of Port Alberni  
4850 Argyle Street  
Port Alberni, BC V9Y 1V8VIA Email: [mike\\_fox@portalberni.ca](mailto:mike_fox@portalberni.ca)

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File # **0390-20-UBCM**

Dear Mayor Minions:

**Re: Police Services Funding Model**

At its June 9, 2025 Regular Council meeting, Langley City Council considered correspondence from the City of Port Alberni dated May 21, 2025 regarding a request for support to advocate for reforms to the current police funding model to achieve a more equitable funding structure for police services. Langley City Council subsequently passed the following resolution and directed staff to forward it directly to UBCM before the resolution submission deadline of June 15, 2025:

*WHEREAS systemic social issues outside of a municipality's mandate, such as poverty, addiction, and mental health challenges, contribute to increased call volumes and demands on police services, creating high police services costs that are further exacerbated by the need to respond to and manage the impacts of these systemic social issues*

*THEREFORE, BE IT RESOLVED UBCM urgently appeal to the Province of British Columbia to develop an equitable Police Services funding program for all BC municipalities and regional districts that takes into account the financial capacity and population size of each jurisdiction, as well as the additional demands placed on police services due to systemic social issues outside of a municipality's mandate.*

Following adoption of the above motion Langley City Council passed an additional motion:

*That Council authorize the Mayor to send a letter to the Mayor of the City Port Alberni, noting that Langley City Council have supported their motion, regarding the police services funding model, and have also forwarded it to the UBCM.*

Yours truly,  
CITY OF LANGLEYPaula Kusack  
Deputy Corporate Officer





## CITY OF PORT ALBERNI

City Hall  
4850 Argyle Street  
Port Alberni, B.C. V9Y 1V8  
Tel. (250) 723-2146 Fax: (250) 723-1003

Our File No. 0400-60

May 21, 2025

Mayor Nathan Pachal  
City of Langley  
20399 Douglas Crescent  
Langley, BC V3A 4B3

Dear Mayor Pachal,

### **Re: Police Services Funding Model**

On behalf of Port Alberni City Council, I am reaching out to all local governments experiencing above average crime rates, which consequently lead to higher per-capita policing costs. We aim to propose the establishment of a cooperative working group. Our goal is to unify our voices in advocating for significant reforms to the current police funding model, particularly in order to achieve a more equitable funding structure for police services. We plan to bring this crucial matter to the forefront at the Union of BC Municipalities [UBCM] 2025 Convention.

At present, the current Police Services funding model in British Columbia does not equitably distribute financial contributions relative to each community's ability to pay, especially for rural areas. This has resulted in disproportionately high policing costs to certain municipalities that invest more heavily in these essential services. This inequitable system places an undue burden on local taxpayers, especially in municipalities that face systemic social challenges—such as poverty, addiction, and mental health issues—that increase the demand for police intervention and, consequently, overall policing costs. These social challenges often extend beyond the jurisdictional authority of local governments, complicating the situation further.

To this end the City of Port Alberni has formally raised concerns regarding equitable police funding via resolution to the Association of Vancouver Island and Coastal Communities (AVICC) which received endorsement and was deliberated on at the 2024 UBCM Convention.

*WHEREAS the City of Port Alberni funds the greatest number of RCMP members and pays significantly higher police costs per capita and per household compared to other municipalities in the Alberni Valley, placing a significant burden on its taxpayers under the current Police Services funding model for British Columbia that does not take into account the financial commitment or funding contribution of each jurisdiction;*

*AND WHEREAS systemic social issues outside of a municipality's mandate, such as poverty, addiction, and mental health challenges, contribute to increased call volumes and demands on police services, creating high police services costs that are further exacerbated by the need to respond to and manage the impacts of these systemic social issues;*

*THEREFORE, BE IT RESOLVED that AVICC & UBCM urgently appeal to the Province of British Columbia to develop an equitable Police Services funding program for all BC municipalities and regional districts that takes into account the financial capacity and population size of each jurisdiction, as well as the additional demands placed on police services due to systemic social issues outside of a municipality's mandate.*

We believe that meaningful change can be achieved if we work together and encourage all interested parties to join us in this essential effort. Should you wish to be a part of this working group, please contact Mike Fox, Chief Administrative Officer at [mike.fox@portalberni.ca](mailto:mike.fox@portalberni.ca).

Thank you for your consideration. We look forward to your response and the potential for collaboration in addressing these pressing concerns.

Yours truly,  
CITY OF PORT ALBERNI



Sharie Minions  
Mayor

C:     Mike Fox, CAO, City of Port Alberni (CPA)  
        Francis Cheung, CAO, City of Langley



RECEIVED

JUL 25 2025

CITY OF PORT ALBERNI



# TSESHAHT FIRST NATION

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<input type="checkbox"/> Agenda	<input type="checkbox"/> Other _____
File # <u>0400-70-Tseshah</u>	

5091 Tsuma-as Dr. Port Alberni, BC V9Y 8X9  
P: 250.724.1225 | F: 250.724.4385 | Tseshah.com

July 21, 2025

To whom it may concern,

## ORANGE SHIRT DAY – NATIONAL DAY FOR TRUTH & RECONCILIATION

On behalf of Tseshah ḥawil and the Tseshah First Nation as a whole, we would like to make a formal request to you for support of our Orange Shirt Day event on September 30.

Over the last few years, we have come to know there is much healing that needs to take place regarding former residential school sites across Canada. We recognize that many BC First Nations may have had children who attended here at the Alberni Indian Residential School, some of which may also have passed here, and we would like to offer an opportunity to those Survivors and their families to come here and walk with us to našukapin ṭšii (make our path strong).

We are currently seeking support from those who wish to contribute, whether through monetary donations, food items (listed below), or by providing large tents or flaggers to ensure the safety of our walkers. We deeply appreciate any assistance in making this day a positive experience for all our guests, especially our survivors. Last year's walk saw incredible support, with around 1,500 people creating a "sea of orange" along our route through town and at the event site.

We have invited neighboring First Nations and other organizations to attend our event, and the response so far has been great. Our expectation is that we will once again see over 1,500 people in attendance.

During our event we will be serving lunch to all our guests and would like to include as much fresh fruit, vegetables and dairy products available and are seeking donations of such products. If you also would like to donate traditional foods (e.g., seafood), please let us know.

We look forward to having you support our event and hope you can accommodate our request. At this time, we would also like to take the opportunity to invite you to attend and bear witness to this Orange Shirt Day event.

Please contact our AIRS Engagement Coordinator, Leanne Harding to confirm your ability to assist in our request and your attendance of the event, via email at [leanne.airs@tseshah.com](mailto:leanne.airs@tseshah.com)

On behalf of Tseshah ḥawil, Council, staff and community:

Wahmeesh (Ken Watts)  
Elected Chief Councillor  
Tseshah First Nation



RECEIVED

AUG 05 2025

CITY OF PORT ALBERNI

TSESHAHT  
FIRST NATION



<input checked="" type="checkbox"/> Council	<input type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
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<input checked="" type="checkbox"/> Agenda	<input type="checkbox"/> Other

File # 0400-70-Tseshaht

5091 Tsuma-as Dr. Port Alberni, BC V9Y 8X9  
P: 250.724.1225 | F: 250.724.4385 | Tseshaht.com

July 31, 2025

FOR IMMEDIATE RELEASE

**Re: Tseshaht celebrates grand opening of new Somass Hall with the support of from the Province of British Columbia and Government of Canada**

Tseshaht First Nation is proud to announce today, July 31, 2025, we celebrate the Grand Opening of our new Somass Hall. Funding from both federal and provincial partnerships assisted in the replacement of a longtime and much beloved community hall after being torn down in late 2020. The former Somass Hall was built by Tseshaht members at the end of World War II and funded by the forestry company, Bloedel Stewart & Welch. That funding was secured as part of an agreement that was unlawfully authorized and implemented by Canada to allow Bloedel Stewart & Welch to build and operate the railroad tracks that once ran through the community, in the face of Tseshaht's adamant opposition.

The project broke ground mid-2024 and is fully funded thanks to significant investments made possible through key partnerships. Over \$3.45 million has been secured through the Investing in Canada Infrastructure Program (ICIP) under the Integrated Bilateral Agreement signed by the Government of Canada and the Province of British Columbia (BC), with additional funding of over \$6.3 million coming from Indigenous Services Canada via the Canadian Human Rights Tribunal 41 (CHRT41).

The construction of this new approximately 7,000 sq ft community hall for recreation, practicing and sharing of culture, gathering and communal kitchen facilities will enhance food security for the most at-risk members of the community. The new Somass Hall will improve cultural opportunities and provide an important community gathering space.

“Tseshaht has felt the void in our community without having the old Somass Hall, as it seemed the perfect size for everything we did. The former Somass Hall carried a lot of history for our people culturally, spiritually, politically and so much more; our new Somas Hall will carry that continued progress improving the quality of life for our people”, said Wahmeesh (Ken Watts) Tseshaht Elected Chief Councillor. “A lot of this funding is aimed at helping keep Tseshaht children and families together and preventing children from going into care, so our whole lower level will be dedicated to children and family prevention programming including a new youth centre and office space, the main level will be our community hall.”



Signed in 2018, the Integrated Bilateral Agreement for the Investing in Canada Infrastructure Program aims to support sustainable and inclusive communities, while driving economic growth by providing financial support to projects in BC focused on public transit; green infrastructure; community, culture and recreation infrastructure; and rural and northern communities' infrastructure. This agreement also includes a renewed commitment to the relationship between Canada and Indigenous peoples based on the recognition of rights, respect, co-operation and partnership.

"Tseshaht families, children and Elders will once again have a welcoming space to gather, celebrate and support one another," said Christine Boyle, Minister of Housing and Municipal Affairs. "Community spaces like Somass Hall are at the heart of community wellbeing, connection and culture. We'll continue supporting infrastructure that makes life better for families today and for generations to come."

Indigenous Services Canada supports the implementation of the 2021 Canadian Human Rights Tribunal 41 (CHRT41) as it relates to the First Nations Child and Family Services Program with guidance on how to request and access capital funding to support the delivery of FNCFS programming on reserve. In addition to the overarching principles outlined, the capital asset must support the delivery of services or activities related to prevention, protection and guardianship, First Nation representation service or post-majority support services for First nations youth aging out of care.

The new Somass Hall is already facilitating the creation of positive change for Tseshaht children, families and our entire community starting today and for the foreseeable future.



**About ʔišaaʔath (Tseshaht) First Nation** ʔišaaʔath (Tseshaht First Nation) has over 1300 registered members whose ʔaʔuuʔi includes from the Somass watershed including the entire Alberni Valley, the western portions of both Horne Lake and Cameron Lake, the Alberni Inlet and surrounding lands and watersheds to the Broken Group Islands of central Barkley Sound, and out to the Pacific Ocean. Tseshaht possesses Aboriginal Rights within the ʔaʔuuʔi [ha-houl-thee] (Chief's territory) owned by our tayii ʔawil [ty-ee ha-wil-th], including Aboriginal Title. For more information, please visit [Tseshaht.com](http://Tseshaht.com)

**For media enquiries and interviews, please contact:**

**Wahmeesh (Ken Watts), Elected Chief Councillor**

**Tseshaht First Nation**

P: 250.724.1225

C: 250.720.6100

E: [kenwatts@tseshaht.com](mailto:kenwatts@tseshaht.com)

**Melissa Bigmore, Communications Liaison**

**Tseshaht First Nation**

P: 250.724.1225

E: [mbigmore@tseshaht.com](mailto:mbigmore@tseshaht.com)



RECEIVED

AUG 05 2025

CITY OF PORT ALBERNI

From: Brodie Guy <[brodie@islandcoastaltrust.ca](mailto:brodie@islandcoastaltrust.ca)>

Sent: August 5, 2025 10:27 AM

To: Sharie Minions <[sharie\\_minions@portalberni.ca](mailto:sharie_minions@portalberni.ca)>;

Subject: Thank you from Island Coastal Trust + New Impact Report

<input type="checkbox"/> Council	<input checked="" type="checkbox"/> Economic Development
<input checked="" type="checkbox"/> Mayor	<input type="checkbox"/> Engineering/PW
<input checked="" type="checkbox"/> CAO	<input type="checkbox"/> Parks, Rec. & Heritage
<input type="checkbox"/> Finance	<input type="checkbox"/> Development Services
<input checked="" type="checkbox"/> Corporate Services	<input type="checkbox"/> Community Safety
<input checked="" type="checkbox"/> Agenda	<input type="checkbox"/> Other
File #	<u>ECM Aug 11</u> <u>6750-01</u>

Good morning mayors, regional district chairs and directors, and M.L.A.s,

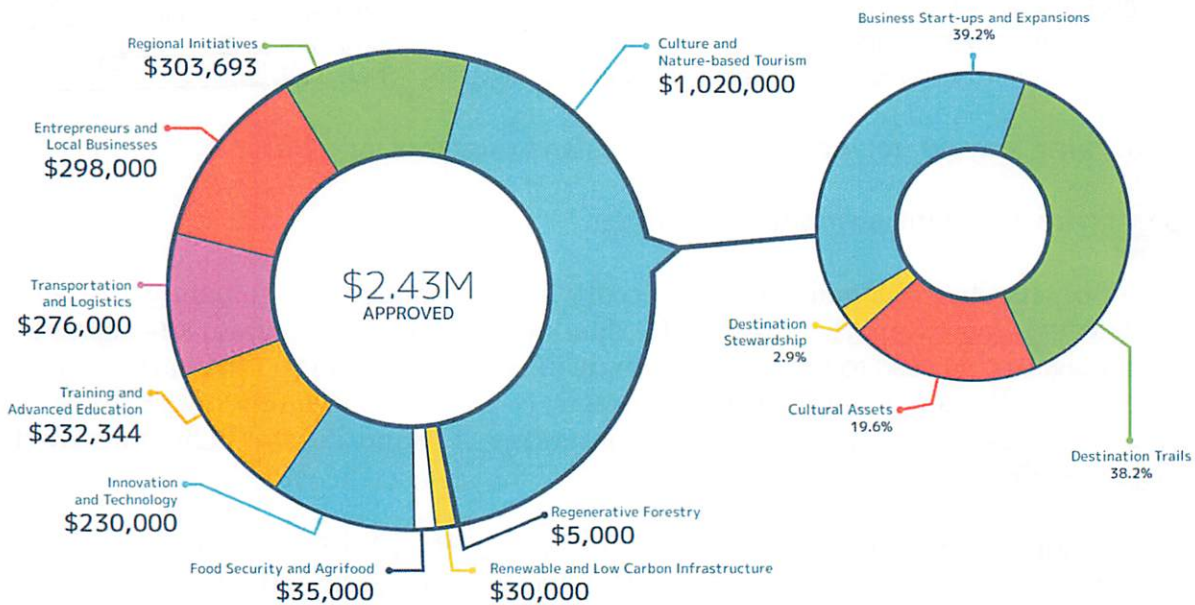
I hope you are all having a wonderful summer.

On behalf of our Chair Michelle Staples and our board of directors, I'm happy to share our new 2025 Impact Report — with a BIG thank you for your leadership, advice, and dedication again this year to regional economic development efforts. I'm sharing this advance copy with you in your role as a legislatively-appointed member of the North Island-Sunshine Coast Regional Advisory Committee of Island Coastal Economic Trust (see RAC membership here).

A few highlights of the impacts that local governments, First Nations, businesses and non-profits are achieving in partnership with Island Coastal Economic Trust this year:

- **\$26 million in new investment** including attracting of over \$6 million in new private sector investment
- **110 new business and social enterprise start-ups and expansions** across the coast
- **146 partnerships** invested in among the private sector, First Nations, local governments, industry associations and more
- **303 new jobs** in local communities
- **76%** of invested projects are Indigenous-led or partnered
- **\$20 million in adaptable, low-carbon infrastructure**; numerous investments reduce energy consumption and emissions
- Strengthening culture and the arts, including **27 outcomes focused on expression and revitalization of languages**
- First Nations governments engaged on the future of the Trust and formed a consensus vision for its establishment as Canada's first co-governed regional development organization — furthering the consensus among mayors, regional district chairs, and MLAs that's been established through the RACs for many years.

## Project Investments by Priority Sector 2024-25



<https://islandcoastaltrust.ca/impact-report/>

**>> We invite you to share the 2025 Impact Report with your staff, council/board, and your community. Attached is a graphic you or your staff can use to share the Impact Report. [Here is the link to our 2025 Impact Report.](#)**

Thank you again for your many contributions to island and coastal communities, the Trust, and the important work we're undertaking together. Have a great summer and look forward to connecting again on new project investments and regional initiatives soon.

Respectfully, Brodie

**BRODIE GUY**

CEO

250.871.7797

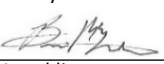

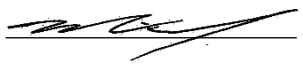


*As we work toward inclusive and resilient economic futures, we do so with a deep appreciation for the histories, contributions, and rights of the Kwakwaka'wakw/Bakwam'kala, Ligwida'xw, Pəntl'áč, She shashishalhem, Hul'q'umi'num', diitiid'aatx, SENĆOTEN, Skwxwú7mesh, Lekwungen, and T'Sou-ke speaking peoples.*





Date: July 25, 2025  
File No: 4520-20-TUP25-01  
To: Mayor & Council  
From: M. Fox, CAO  
Subject: **DEVELOPMENT APPLICATION – Temporary Use Permit at 5104 River Road, Port Alberni**  
LOT 1, SECTION 11, ALBERNI DISTRICT, PLAN 24655 (PID: 003-042-430)  
Applicant: City of Port Alberni

Prepared by:  B. McLoughlin Manager of Planning	Director:  S. Smith, Dir. of Development Services   Deputy CAO	CAO Concurrence:  M. Fox, CAO
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## RECOMMENDATIONS

*That Council authorize the Director of Corporate Services to sign the three (3) year Temporary Use Permit No. 25-01 to enable up to four (4) shipping containers to be used as commercial buildings on the property at 5104 River Road.*

## PURPOSE

To consider Temporary Use Permit TUP-25-01 that would enable shipping containers to be located at Clutesi Haven Marina for a small commercial market. The repurposed containers would be used buildings for retail and food service space.

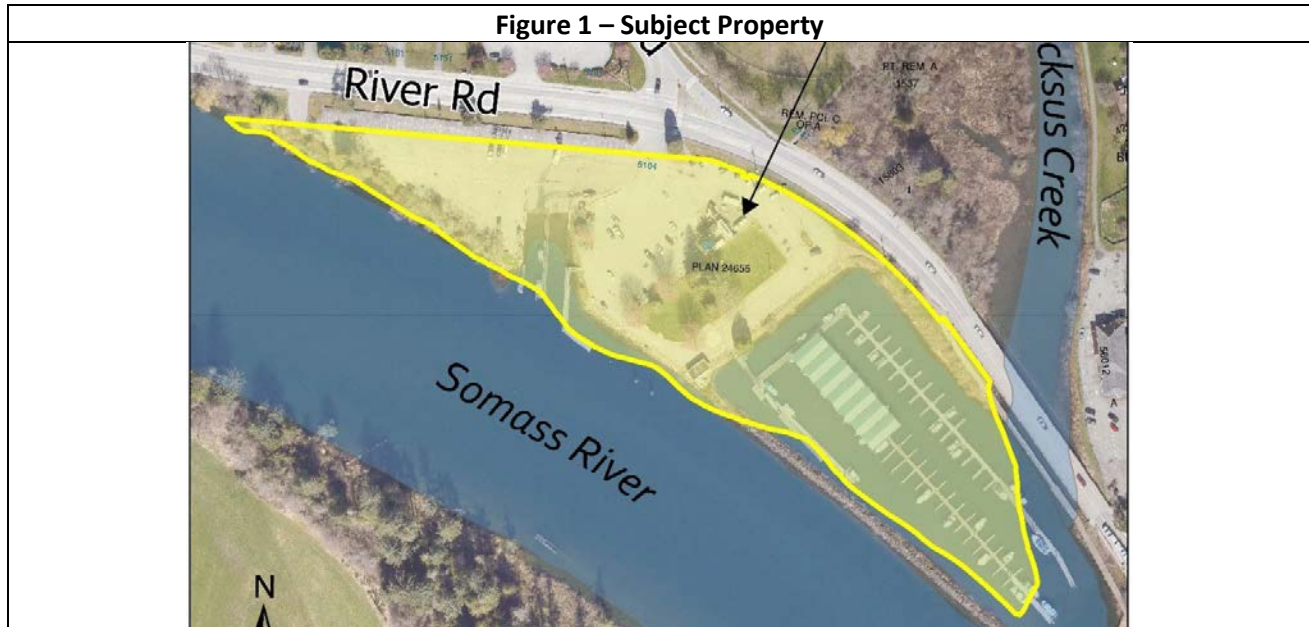
## BACKGROUND

The City has partnered with Tseshah First Nation and Hupacasath First Nation to create a small, non-permanent, commercial market at Clutsei Haven Marina. The project is a result the Community Economic Development Initiative (CEDI) which facilitates partnerships between municipalities and First Nations on mutually beneficial economic development.

The property at 5104 River Road (Clutesi Haven Marina) is owned by the City of Port Alberni. The duration of the permit would be for 3 years as per section 497 of the *Local Government Act*. Prior to expiry of the permit, Council may consider renewal for an additional 3 years.

<b>Location</b>	On the Somass River north of Kitsuksis Creek at the intersection of River Rd. and Beaver Creek Rd.
<b>Current Land Use</b>	<i>General Commercial</i>
<b>Current Zoning</b>	<i>W1 Waterfront Commercial</i>
<b>Proposed Temp. Use</b>	Shipping containers as commercial buildings
<b>Total Area</b>	28,028 m <sup>2</sup> (6.9 acres)





#### ALTERNATIVES/OPTIONS

1. That Council authorize the Director of Corporate Services to sign the three (3) year Temporary Use Permit No. 25-01 to enable up to four (4) shipping containers to be used as commercial buildings on the property at 5104 River Road.
1. That Council denies Temporary Use Permit No. 25-01.
2. That Council direct staff to provide additional information.

#### ANALYSIS

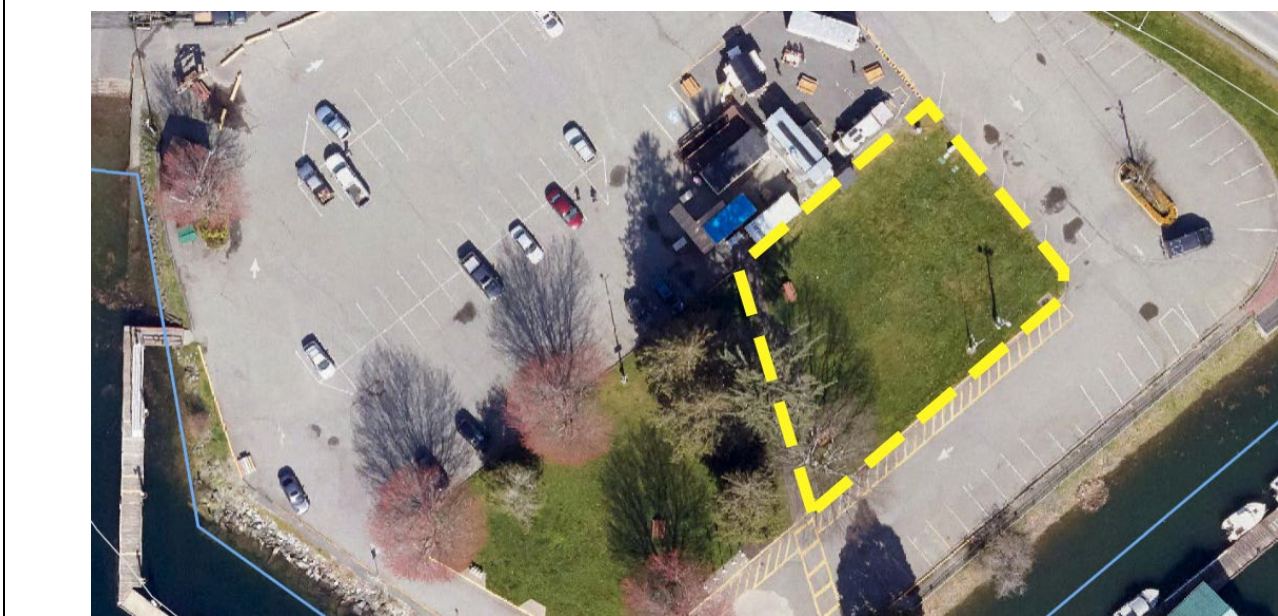
##### Official Community Plan - Policy and Land Use

OCP Section C: 3.0 Temporary Use Permits policy for Council to consider in the issuance of a TUP. This application has been reviewed according to these criteria. See Table 1.

Table 1 – OCP Policy Alignment		
Section C: Plan Goals & Land Use Designations	Council Policy	Temporary Use Permit No. 25-01
3.0.1	Temporary Use Permits may be considered on all lands designated as Industrial Use or Commercial Use on the Schedule “A” (Land Use Map).	<ul style="list-style-type: none"> <li>Property is designated General Commercial (GCO) on the OCP land use map.</li> </ul>

3.0.2	The issuance of a Temporary Use Permit is intended to provide a short-term opportunity for uses that either relocate or cease to exist within a maximum of a six-year period.	<ul style="list-style-type: none"> <li>The term of the permit would be three (3) years, though Council may choose a shorter term.</li> <li>No permanent structures are proposed. Conditions of the TUP will require restoration of the property and removal of temporary structures.</li> <li>If the project is expected to remain in-place beyond six (6) years a Zoning Bylaw amendment would be required prior to expiry of the permit.</li> </ul>
3.0.3	Ensure long-term public policy for the area is not changed.	<ul style="list-style-type: none"> <li>Authorizing TUP25-01 will not result in long-term changes to waterfront land use.</li> </ul>
3.0.4	Maintain a reasonable level of compatibility with the surrounding development.	<ul style="list-style-type: none"> <li>The proposed shipping container market is compatible with the Clutesi Haven Marina, and the existing mobile vendor market (food trucks).</li> </ul>

**Figure 2 – Project Location**



**Zoning Bylaw No. 5105, 2024.**

The application aligns with the intent of the *W1 Waterfront Commercial* zone, which aims to activate waterfront public space by permitting uses that attract people and serve marine-based commercial operations. A mobile vendor market (food trucks) already exists on-site, and the container market is compatible with this existing and permitted use.

Temporary deployment of shipping containers as vendor units is a common strategy for activating public space and generating local interest. However, Zoning Bylaw section *6.28 Shipping Containers* limits their use to M Industrial zones, or as temporary storage with a valid Building Permit. TUP25-01 would allow up to four (4) repurposed shipping containers to be used for commercial purposes at 5104 River Road.

### Financial Considerations

Applications fees were not collected for this application as the City of Port Alberni is owner of the property.

### Legal Considerations

#### *BC Building Code*

- A Building Permit is required for the repurposed shipping containers. The structures will need to be certified by a qualified professional.

#### *Local Government Act*

- Authority to approve a Temporary Use Permit is located in sections 492 – 497 of the *Local Government Act*.

### Intergovernmental Factors

The application has not been referred to the BC Ministry of Transportation and Transit for comment as the issuance of TUP25-01 will not significantly alter use of the commercial lands.

### Interdepartmental Involvement

This application was referred to City departments for review.

Community Safety and Social Development (CSSD) provided the following comments:

- Additional foot traffic on the property during peak times may lead to pedestrian/vehicle collisions.
- Additional parking demand during peak times may increase vehicle congestion on River Road leading to parking violations.
- The repurposed shipping containers may lead people to presume they are generally permitted in Port Alberni.

Port Alberni Fire Department (PAFD) provided the following comments:

- Fire vehicle access needs to be maintained on the east side of the development as this is the PAFD's means of establishing a water supply for marine firefighting operations.
- PAFD has concerns in general about shipping container use as there have been incidents in the province resulting in firefighter injuries and death. Guidelines for safe use of shipping containers will be used in the inspection process. The guidelines address best practices regarding fire safety, ventilation, compressed gas/flammable storage, etc.

### **IMPLICATIONS**

The issuance of TUP25-01 aligns with Council Policy in the OCP. While the use of shipping containers as temporary buildings is not permitted by the Zoning Bylaw, the commercial market is permitted by the waterfront zoning, and is not anticipated to negatively impact the surrounding area.

If Council approves the permit, Administration should assess the parking area to determine if pedestrian safety measures will be required during peak times/seasons. Council may also consider future policy to clarify the use of Temporary Use Permits to authorize shipping containers.

## COMMUNICATIONS

Staff issued public notice as per section 494 of the *Local Government Act*. Advertisements were placed in the local paper for two consecutive issues, and notices were mailed to owners and occupants within 100 metres of the property. The permit was also made available for public viewing at the Development Services counter.

## BYLAW/PLAN/POLICY

1. Official Community Plan – Section C – 3.0 Temporary Use Permits

This application has been reviewed according to OCP policy and the guidelines. The supports issuance of a TUP on lands designated GCO General Commercial. The application has not been reviewed according to the commercial Development Permit Area guidelines.

2. Zoning Bylaw No. 5105, 2024

A TUP is required because the use of shipping containers on the property is not permitted by section 6.28 *Shipping Containers*.

3. 2023 - 2027 Corporate Strategic Plan

Issuance of TUP25-01 aligns with the following Council strategies:

- 1.3.3 Reinvigorate and repurpose City-owned waterfront properties by making improvements and attracting investment.
- 1.3.5 Identify key waterfront business sectors, and engage current and potential operators to seek input.
- 2.1.1 Encourage tourism-related development and infrastructure.
- 2.2.1 Focus the City's Economic Development Department efforts toward the small business sector (50 employees or fewer).

## SUMMARY

Temporary Use Permit No. 25-01 would authorize the use of repurposed shipping containers for a small vendor market at 5104 River Road (Clutesi Haven Marina). The application aligns with the OCP land use designation, and OCP policy on temporary use permits. The market use also aligns with the intent of the W1 Waterfront Commercial zone. Administration recommends approval of TUP25-01.

## ATTACHMENTS/REFERENCE MATERIALS

1. *Temporary Use Permit (TUP25-01)*



## TEMPORARY USE PERMIT

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**Temporary Use Permit No:** 25-01

**Registered Owner(s):** City of Port Alberni

**Applicant:** City of Port Alberni

**Subject Property:** 5104 River Road

**Legal Description:** LOT 1, SECTION 11, ALBERNI DISTRICT, PLAN 24655

**Parcel Identifier(s):** 003-042-430

**Purpose:** To temporarily permit up to four (4) shipping containers to be used on the property.

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Authorization is hereby granted to the **City of Port Alberni** to install up to (4) shipping containers on the subject property to be used as buildings for the purpose of a small commercial market.

### CONDITIONS of PERMIT:

1. This permit is issued subject to compliance with all relevant City of Port Alberni bylaws, except as specifically varied or supplemented by this permit.
2. This permit applies to the subject property described above and shown on Schedule A.
3. All repurposed shipping containers must be compliant with life-safety requirements and recommendations made by qualified professionals, the City of Port Alberni, and other government agencies to operate and occupy the structures for commercial use.
4. This permit authorizes the temporary use, beginning on August 11, 2025, and expiring on August 11, 2028, at which time the rights granted under this permit will cease.
5. At the time of expiry of this permit, the owner shall cease the non-conforming uses and restore the subject property to a state of conformity with zoning regulations and all relevant municipal bylaws.
6. The owner shall provide the general contractor and all professionals associated with the development with copies of this permit.

Council may grant an extension, one time only, prior to the expiry date of August 11, 2028, for a period of not more than three (3) years, as per section 497 of the *Local Government Act*.

The City of Port Alberni shall file notice of this permit in the Land Title Office stating the land is subject to Temporary Use Permit No. 25-01.

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**THIS IS NOT A BUILDING PERMIT**

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Temporary Use Permit 25-01

Page 2 of 3

July 25, 2025

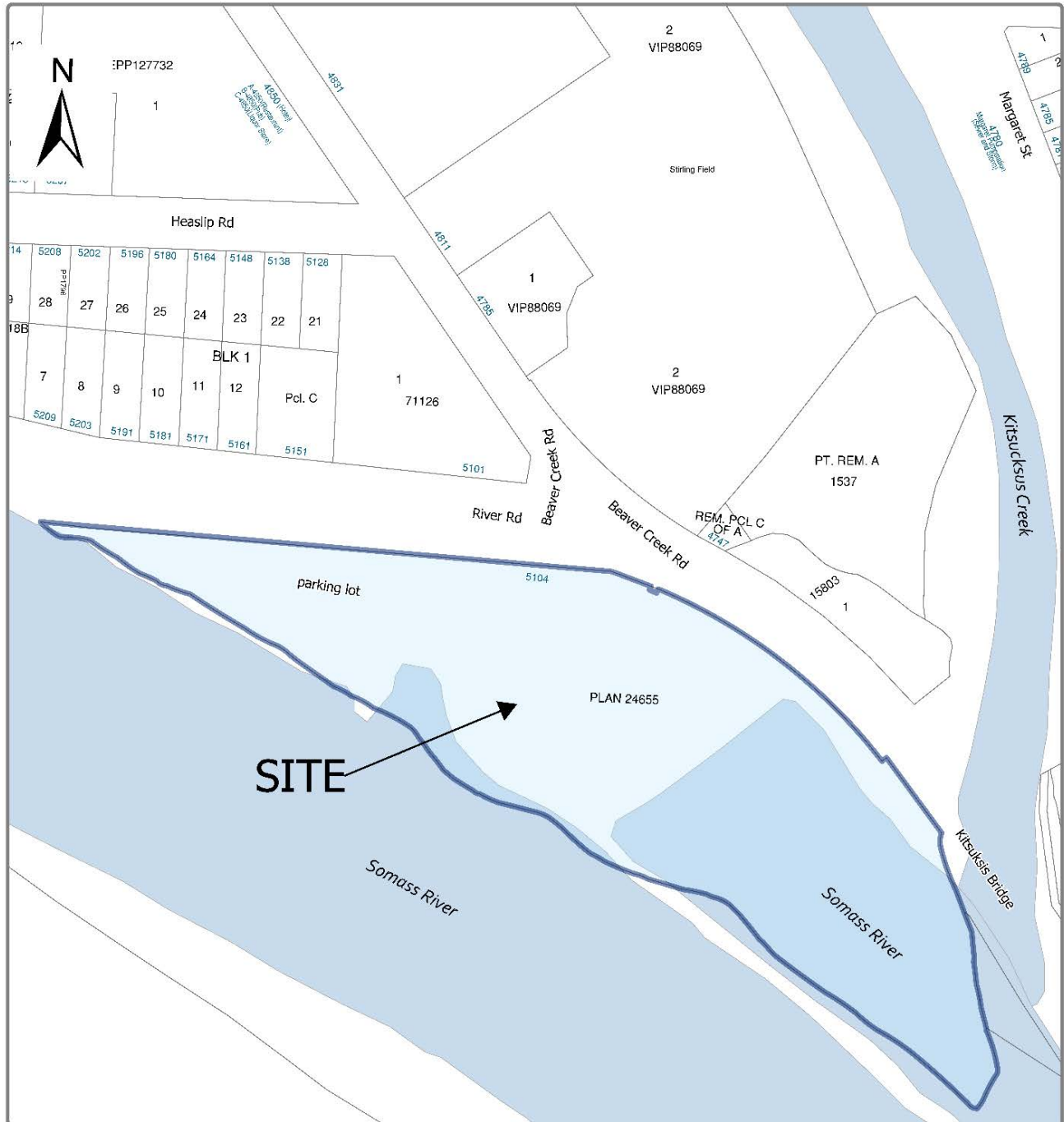
**Authorized by**

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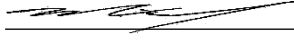
**Corporate Officer**

This Permit is issued under the Seal of the City of Port Alberni on \_\_\_\_\_, 2025.

**SCHEDULE A – Location Map**



Date: July 30, 2025  
File No: 0640-30-August 11, 2025  
To: Mayor & Council  
From: M. Fox, Chief Administrative Officer  
Subject: Fees and Charges Bylaw Amendment

Prepared by: <i>S, BOURGOIN</i> REC SERVICES MANAGER	Reviewed by: <i>S, DARLING</i> DIRECTOR OF CORPORATE SERVICES	CAO Concurrence:  M. Fox, CAO
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#### RECOMMENDATION[S]

*THAT Council direct administration to bring forward an amendment to the Fees and Charges Bylaw No. 5125, 2025 to reflect amendments as noted in the staff report dated July 14, 2025, and outlined in Table 1 | Schedule "K" Proposed Revisions.*

#### PURPOSE

To inform Council of requested amendments to the Fees and Charges Bylaw, specifically addressing commercial user rates and clarifying existing definitions and fees.

#### BACKGROUND

During the review and implementation of revised Fees and Charges for the Parks, Recreation and Culture department, a lack of clear distinction between not-for-profit and for-profit businesses renting City spaces for programs and services was identified.

The existing "*Parks, Recreation and Culture Facilities Fees and Charges 2024, Bylaw No. 5106, 2024*" defines commercial user groups as "groups or organizations with a primary purpose of generating profit through providing goods or services for sale" and states that "fees and charges for commercial groups/organizations will be negotiated on behalf of the City by the Director of Parks, Recreation and Culture or designate." This approach was intended for large-scale events, not standard rentals of City spaces.

At its July 14, 2025, Regular meeting, Council resolved the following:

*THAT Council direct staff to investigate the inclusion of commercial/for-profit rental rates for City recreational properties in the Fees & Charges Bylaw. Res. No. 25-321*

In the course of investigating rate structures, additional amendments were identified and have been outlined in the attached *Table 1 | Schedule "K" Proposed Revisions* for Council consideration. These include transition of language from the existing "*Parks, Recreation and Culture Facilities Fees and Charges 2024, Bylaw No. 5106*,

2024” to capture it under the overarching Fees and Charges Bylaw which would result in repealing Bylaw 5106 following adoption of the new amending Bylaw.

#### **ALTERNATIVES/OPTIONS**

1. That Council direct administration to bring forward an amendment to the Fees and Charges Bylaw to reflect amendments as noted in the staff report dated July 14, 2025, and outlined in Table 1 | Schedule “K” Proposed Revisions.
2. That Council request additional information or amendments to the Fees and Charges Bylaw.
3. That Council decline amendments to the Fees and Charges Bylaw at this time.

#### **ANALYSIS**

It has been identified that various commercial/for-profit groups/organizations utilize rentals of City spaces and facilities. To ensure that taxpayers are not subsidizing local for-profit businesses, administration is recommending a fee structure that supports this goal.

Comparable Community Research, specific to Ice Rentals, identified the following rates:

1. Powell River – Currently, all commercial bookings are \$369.20/hour, which was implemented in Spring 2025.
2. Campbell River – The regular rental fee (youth or adult) is doubled. In the off-season, they charge a flat rate of \$123.79/hour.
3. Esquimalt – The regular rental fee (private) for Youth Prime is \$200. This is the rate used for any non-school rental.
4. Oak Bay – The commercial rate is double the general rate. The general Adult Rate is \$289, and the Youth Rate is \$149.
5. Comox/Courtney – No response to request.

Based on the above research and further review of the current fee structure and user group definitions in the both the “Parks, Recreation and Culture Facilities Fees and Charges 2024, Bylaw No. 5106, 2024” and the “Fees and Charges Bylaw No. 5125, 2025”, staff are recommending amendments to the current user group types to add clarity to definitions and create two user group categories: “City” and “Other.” “City” would include public, that reside within the City of Port Alberni, local groups and organizations with membership comprising over 50% City residents and non-profits within the boundaries of the Alberni Valley. “Other” would include public residing within the Alberni Valley but outside the service area boundaries of the City of Port Alberni, local groups and organizations with membership consisting of less than 50% City residents, commercial, non-local non-profit, political, and religious users and would be subject to double the rate structure as identified in the Bylaw. As detailed in Table 1 | Schedule “K” Proposed Revisions, the definitions for each user group have been updated to ensure clarity.

Additional amendments have also been highlighted for Council’s consideration that relate to additional clarifying language for rentals, clarity on fees associated with statutory holiday facility rentals (which will be double the regular rate and double the staff costs), and fee adjustments for ease of billing related to the youth/child drop in rate. Specifically, the table indicates that the Get Active, Stay Active Pass description has

been updated to include "designated" registered programs, and language was added to support the collection of user location and statistical reporting, with a surcharge for non-compliance. Various rental fees have also been updated, including those for the Alberni Valley Multiplex (Upper Lounge, Homasote Flooring), Echo Aquatic Centre (half-day rentals), Glenwood Centre (Tennis/Pickleball Court, Batting Cage, Skate Rentals), and Bob Dailey Stadium (Bleachers). Furthermore, the table indicates that hourly rates have been added for city-owned equipment.

#### **IMPLICATIONS**

- Implementing the proposed fee structure may lead to increased annual revenue for the City.
- Establishing distinct fee categories for City versus other users ensures that taxpayers are not subsidizing operations, promoting fairness in resource allocation.
- While the new fee structure may discourage excessive rentals by for-profit businesses, it is essential to monitor any potential reduction in available space for City-run programs and services, ensuring that public interest remains a priority.
- Effective communication strategies will be necessary to inform affected user groups about the changes, minimizing confusion and fostering transparency in the implementation of the new fee structure.

#### **COMMUNICATIONS**

Communications will support public messaging and direct messaging to affected user groups.

#### **BYLAWS/PLANS/POLICIES**

- [\*"Parks, Recreation and Culture Facilities Fees and Charges 2024, Bylaw No. 5106, 2024"\*](#)
- [\*"Fees and Charges Bylaw No. 2125, 2025"\*](#)
- [\*"Fees and Charges Bylaw No. 5125-1, 2025"\*](#) [Pending consideration of adoption August 11<sup>th</sup>]

#### **SUMMARY**

This report seeks Council's direction to amend the Fees and Charges Bylaw to address inconsistencies in the application of rental rates for users of City facilities. The proposed amendments include creating distinct "City" and "Other" user group categories, with the latter being subject to a double rate structure. These changes aim to ensure that taxpayers are not subsidizing for-profit businesses. Furthermore, the report highlights additional clarifying language, fee adjustments, and new fee structures.

#### **ATTACHMENTS/REFERENCE MATERIALS**

- *Table 1 | Schedule "K" Proposed Revisions*



CURRENT Fees and Charges Bylaw No. 5125 Schedule K Parks, Recreation & Culture	PROPOSED REVISED Fees and Charges Bylaw No. 5125 Schedule K Parks, Recreation & Culture																		
<p>On January 1 of each year, every fee within this bylaw shall increase by the same value as the Consumer Price Index (CPI) of the previous year.</p> <p>Applicable taxes must be added to all rates within this bylaw.</p> <p>Facility rentals on statutory holidays shall be subject to rates reflecting the additional cost in staff time to facilitate such rentals.</p>	<p><i>Addition of language previously reflected in PRC Bylaw No. 5106 with the addition of language to clarify rates for statutory holiday facility rentals and the addition of fee structure for user groups defined under “Other”.</i></p> <p><b>Implementation of Fees:</b></p> <p>This bylaw shall become effective September 1, 2025. A comprehensive review of these fees will be conducted every four (4) years to ensure alignment with rates in comparable communities.</p> <p>Effective January 1 each year, all fees will be adjusted in accordance with the previous year's Consumer Price Index (CPI).</p> <p>Applicable taxes must be added to all rates within this bylaw.</p> <p>Facility rentals on statutory holidays shall be subject to double (2x) the regular rate and double (2x) the staff costs.</p> <p>User groups as defined under “Other” will be subject to double (2x) the rates.</p>																		
<p><i>No language in current Bylaw.</i></p>	<p><i>Addition of language previously reflected in PRC Bylaw No. 5106</i></p> <p><b>Age Classifications:</b></p> <table><tr><td>Tot</td><td>0-4 years</td></tr><tr><td>Child</td><td>5-12 years</td></tr><tr><td>Youth</td><td>13-18 years</td></tr><tr><td>Adult</td><td>19-59 years</td></tr><tr><td>Senior</td><td>60-74</td></tr><tr><td>Golden Age</td><td>75+ years</td></tr><tr><td>Family</td><td>Max. 6 persons min. 1 adult or senior max. 2 adults</td></tr></table> <p><b>Definitions:</b></p> <p><b>Duration</b></p> <table><tr><td>Half Day</td><td>Up to 6 hours</td></tr><tr><td>Full Day</td><td>1 calendar day</td></tr></table>	Tot	0-4 years	Child	5-12 years	Youth	13-18 years	Adult	19-59 years	Senior	60-74	Golden Age	75+ years	Family	Max. 6 persons min. 1 adult or senior max. 2 adults	Half Day	Up to 6 hours	Full Day	1 calendar day
Tot	0-4 years																		
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Family	Max. 6 persons min. 1 adult or senior max. 2 adults																		
Half Day	Up to 6 hours																		
Full Day	1 calendar day																		

	<p><i>Addition of language previously reflected in PRC Bylaw No. 5106 with addition of the word “designated” to the description of Get Active, Stay Active Pass.</i></p> <p><b>Get Active, Stay Active Pass</b> Youth receive unlimited access to drop-in sessions and 20% off designated registered programs.</p> <p>Valid January – December (no prorated fee if pass is purchased throughout the year).</p> <p><b>Primary/Secondary Ice Surfaces (Multiplex Only)</b> Primary Sheet (Weyerhaeuser) Secondary Sheet (Coulson)</p> <p><b>Prime Time/Non-Prime Time (Multiplex Only)</b></p> <table><tr><td>Prime Time</td><td>Monday – Friday, 3pm – 9am Saturday – Sunday: All open hours</td></tr><tr><td>Non-Prime Time</td><td>Monday – Friday, 9am – 3pm</td></tr></table> <p><b>Staff Costs</b> Current wages (inclusive of employer deductions) as paid to City of Port Alberni employees.</p> <p><b>Tax Implications</b> Taxes will be added to all fees as required by legislation.</p>	Prime Time	Monday – Friday, 3pm – 9am Saturday – Sunday: All open hours	Non-Prime Time	Monday – Friday, 9am – 3pm
Prime Time	Monday – Friday, 3pm – 9am Saturday – Sunday: All open hours				
Non-Prime Time	Monday – Friday, 9am – 3pm				
<p><b>User Group Types</b></p> <p><b>Commercial</b> Groups or organizations with a primary purpose of generating profit through providing goods or services for sale.</p> <p>Fees and charges for commercial groups/organizations will be negotiated on behalf of the City by the Director of Parks, Recreation and Culture or designate.</p> <p><b>Local non-profit</b> Registered non-profit or charitable organizations located within the Alberni Valley as indicated</p>	<p><i>Addition of language previously reflected in PRC Bylaw No. 5106 amended to include clearer definition and understanding.</i></p> <p><i>Addition of “City” category and “Other” category as a classification of users that would be subject to double the rates reflected in the revised Bylaw.</i></p> <p><b>User Group Types</b></p> <p><b>“CITY” refers to:</b></p> <p><b>Public</b> Individuals or groups not associated with a specific organization, residing within the City of Port Alberni as defined by the city's service area boundaries.</p> <p><b>Groups and Organizations</b> Organizations with membership comprising over 50% City residents, as defined by service area boundaries, that facilitate activities and events benefiting the community.</p>				

<p>by the service area boundaries of the City of Port Alberni and Alberni-Clayoquot Regional District.</p> <p><b>Non-local non-profit</b> Registered organizations located outside the Alberni Valley.</p> <p><b>Political</b> Organizations or groups affiliated with a particular political party.</p> <p><b>Public</b> Individuals or groups not affiliated with a particular organization.</p> <p><b>Religious</b> Organizations or groups affiliated with a particular religion, faith, or spiritual belief system.</p> <p><b>Sanctioned events</b> Events organized or hosted by local or non-local organizations.</p>	<p><b>Non-profit</b> Registered non-profit or charitable organizations based in the Alberni Valley and operating within the service area boundaries of the City of Port Alberni and the Alberni-Clayoquot Regional District.</p> <p><b>“OTHER” refers to:</b></p> <p><b>Public – Local</b> Individuals or groups not affiliated with a specific organization, residing within the Alberni Valley but outside the service area boundaries of the City of Port Alberni.</p> <p><b>Groups and Organizations - Local</b> Organizations with membership consisting of less than 50% City residents, located within the Alberni Valley and outside the service area boundaries of the City of Port Alberni, facilitating activities and events that support or benefit local community members.</p> <p><b>Commercial</b> Businesses or organizations primarily engaged in profit generation through the sale of goods or services.</p> <p><b>Non-local non-profit</b> Registered organizations based outside the Alberni Valley.</p> <p><b>Political</b> Organizations or groups affiliated with a specific political party or agenda.</p> <p><b>Religious</b> Organizations or groups affiliated with a particular religion, faith, or spiritual belief system.</p> <p><b>Sanctioned events</b> Events organized or hosted by either local or non-local organizations that have received official authorization.</p>
<p><i>No language in current Bylaw.</i></p>	<p><i>Addition of text to support collection of user location and statistical reporting.</i></p> <p><b>User Location and Statistical Reporting</b></p> <p>If not provided through recreation software, renters/users must provide the City with a list of member location areas and age classification upon registration/rental or upon request. Failure to provide this information within 30 days will incur a 20% surcharge. This information will be used solely for statistical purposes.</p>

	For events in Facilities involving participants from outside user groups, the renters/users must make efforts to record participants' locations and submit statistical usage rates to the City within thirty (30) days post-event. This data will be utilized for statistical and planning purposes.																																											
	<i>Addition of two rental options for the Upper Lounge. The first is for a two-hour booking (i.e. meeting or workshop), whereas the second is an option to book the space for the full day (i.e. tournament or event).</i>																																											
	<i>Additional clarifying details regarding the costs associated with the use of the Homasote Flooring (portable wood floor for Primary Ice Sheet).</i>																																											
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Homasote Flooring (covering ice for dry floor events)		Staff time + 10%	Upper Lounge	\$500.00
Skates (per pair)			Homasote Flooring (covering ice for dry floor events)	\$2,300.00
Rental		\$3.33	*Includes cost of primary sheet and no bleachers is based on “surface only + staff costs”. If the bleachers are needed for the rental then the price would be reflected accordingly.	
Sharpening		\$5.72	Skates (per pair)	
			Rental	
			Sharpening	\$3.25
				\$5.72
			Staff adjusted the half day time to be reflective of what was defined as a half day vs. full day rental. The hours were changed from 4-hours to 6-hours for a half day rental for Youth and Adults.	
RENTALS - ECHO AQUATIC CENTRE			RENTALS - ECHO AQUATIC CENTRE	
Youth Groups and Swim Meets (per hour) + staff			Youth Groups and Swim Meets (per hour) + staff	
Per Lane		\$21.75	Cost Per Lane – per hour	\$21.75
Shallow Tank		\$122.39	Shallow Tank – per hour	\$122.39
Main Pool (6 lanes x 25 m)		\$123.70	Main Pool (6 lanes x 25 m) – per hour	\$123.70
Full Facility - hourly up to 4 hours		\$170.10	Full Facility – half day (up to 6 hours)	\$384.85
Full Facility - full day, incl. 2 Aquatic staff		\$769.70	Full Facility – full day	\$769.70
Adult Groups (per hour) + staff			Adult Groups (per hour) + staff	
Per Lane		\$26.80	Cost Per Lane – per hour	\$26.80
Full Facility - hourly up to 4 hours		\$211.92	Full Facility – half day (up to 6 hours)	\$478.94
Full Facility - full day, incl. 2 Aquatic staff		\$957.88	Full Facility – full day	\$957.88
			No longer includes language reflecting alternate rates for different users. Rates within the fee schedule reflect those associated with the “City” user group category. All rentals designated as “Other” will be subject to double the rate per service.	
RENTALS - ECHO '67 COMMUNITY CENTRE			RENTALS: ECHO COMMUNITY CENTRE	
Room Rental (per hour)			Room Rental (per hour)	
Dogwood Room - public and local non-profit org. fundraisers		\$34.23	Dogwood Room	\$34.23
Dogwood Room - religious, political and non-local org.		\$47.88	Hemlock Room	\$24.78
Hemlock Room - public and local non-profit org. fundraisers		\$24.78	Fir Room	\$24.78
Hemlock Room - religious, political and non-local org.		\$36.93	Cedar Room (Front w/stage)	\$43.30
Fir Room - public and local non-profit org. fundraisers		\$24.78	Cedar Room (Centre)	\$39.40



<table><tr><td>Fir Room - religious, political and non-local org.</td><td>\$36.93</td></tr><tr><td>Cedar Room (Front w/stage) - public and local non-profit org. fundraisers</td><td>\$39.40</td></tr><tr><td>Cedar Room (Front w/stage) - religious, political and non-local org.</td><td>\$66.30</td></tr><tr><td>Cedar Room (Centre) - public and local non-profit org. fundraisers</td><td>\$43.30</td></tr><tr><td>Cedar Room (Centre) - religious, political and non-local org.</td><td>\$67.60</td></tr><tr><td>Cedar Room (Back/East) - public and local non-profit org. fundraisers</td><td>\$43.30</td></tr><tr><td>Cedar Room (Back/East) - religious, political and non-local org.</td><td>\$67.60</td></tr><tr><td>Cedar Room (Full) - public and local non-profit org. fundraisers</td><td>\$74.96</td></tr><tr><td>Cedar Room (Full) - religious, political and non-local org.</td><td>\$104.00</td></tr><tr><td>Small Kitchen - public and local non-profit org. fundraisers</td><td>\$27.25</td></tr><tr><td>Small Kitchen - religious, political and non-local org.</td><td>\$100.00</td></tr><tr><td>Large Kitchen - public and local non-profit org. fundraisers</td><td>\$50.00</td></tr><tr><td>Large Kitchen - religious, political and non-local org.</td><td>\$100.00</td></tr><tr><td>Craft Room - public and local non-profit org. fundraisers</td><td>\$30.00</td></tr><tr><td>Craft Room - religious, political and non-local org.</td><td>\$35.25</td></tr><tr><td>Full Facility - public and local non-profit org. fundraisers (full day)</td><td>\$650.00</td></tr><tr><td>Full Facility - religious, political and non-local org. (full day)</td><td>\$909.95</td></tr></table>	Fir Room - religious, political and non-local org.	\$36.93	Cedar Room (Front w/stage) - public and local non-profit org. fundraisers	\$39.40	Cedar Room (Front w/stage) - religious, political and non-local org.	\$66.30	Cedar Room (Centre) - public and local non-profit org. fundraisers	\$43.30	Cedar Room (Centre) - religious, political and non-local org.	\$67.60	Cedar Room (Back/East) - public and local non-profit org. fundraisers	\$43.30	Cedar Room (Back/East) - religious, political and non-local org.	\$67.60	Cedar Room (Full) - public and local non-profit org. fundraisers	\$74.96	Cedar Room (Full) - religious, political and non-local org.	\$104.00	Small Kitchen - public and local non-profit org. fundraisers	\$27.25	Small Kitchen - religious, political and non-local org.	\$100.00	Large Kitchen - public and local non-profit org. fundraisers	\$50.00	Large Kitchen - religious, political and non-local org.	\$100.00	Craft Room - public and local non-profit org. fundraisers	\$30.00	Craft Room - religious, political and non-local org.	\$35.25	Full Facility - public and local non-profit org. fundraisers (full day)	\$650.00	Full Facility - religious, political and non-local org. (full day)	\$909.95	<table><tr><td>Cedar Room (Back/East)</td><td>\$43.30</td></tr><tr><td>Cedar Room (Full Facility)</td><td>\$74.96</td></tr><tr><td>Small Kitchen</td><td>\$27.25</td></tr><tr><td>Large Kitchen</td><td>\$50.00</td></tr><tr><td>Craft Room A &amp; B</td><td>\$30.00</td></tr><tr><td>Full Facility (full day)</td><td>\$650.00</td></tr></table>	Cedar Room (Back/East)	\$43.30	Cedar Room (Full Facility)	\$74.96	Small Kitchen	\$27.25	Large Kitchen	\$50.00	Craft Room A & B	\$30.00	Full Facility (full day)	\$650.00
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		<i>Additional information to provide clarity on the rental of the Tennis/Pickleball Court(s) and Sports Equipment to include both the rental of the equipment and the floor space.</i>	
		<i>Skate rental fee was simplified to the nearest \$0.25.</i>	
		<i>No longer includes language reflecting alternate rates for different users. Rates within the fee schedule reflect those associated with the “City” user group category. All rentals designated as “Other” will be subject to double the rate per service.</i>	

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		<i>Addition of Bleacher rental.</i>  <i>As the cost associated with having the Lights on at the Stadium for both Youth and Adult events is the same staff have updated the fees and charges to reflect only one cost for the use of lights/hour.</i>  <i>No longer includes language reflecting alternate rates for different users. Rates within the fee schedule reflect those associated with the “City” user group category. All rentals designated as “Other” will be subject to double the rate per service.</i>																											
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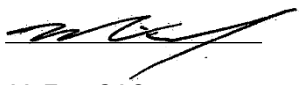
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Projection screen	\$5.00	\$25.00
Food and Beverage		
Cambro (hot drinks)	\$5.00	\$50.00
Coffee urn	\$10.00	\$50.00
Cutlery (per dozen)	\$10.00	\$20.00
Dishes (per dozen)	\$10.00	\$50.00
Furniture		
Folding table	\$5.00	\$20.00
Plastic chair	\$2.00	\$5.00
Table skirt	\$1.00	\$25.00
Tablecloth	\$1.00	\$15.00
Outdoor Equipment		
Barricade (2 legs, 1 crossbar)	\$2.00	\$20.00
Delineator	\$1.00	\$10.00
Disc golf disc	\$1.00	\$10.00
Flexible plastic fencing with rebar (snow fence)	\$1.00	\$10.00
Garbage can	\$5.00	\$50.00
Garbage picker	\$1.00	\$10.00
High-vis vest	\$1.00	\$10.00
Marquee tent	\$300.00	\$450.00
Megaphone	\$5.00	\$50.00
Pylon	\$1.00	\$10.00
Sandbag	\$1.00	\$10.00
Signage		
Standing display sign	\$1.00	\$10.00
Sandwich board sign	\$1.00	\$10.00
Electronic reader board (Wallace St. & 10th Ave.)	\$5.00	\$40.00
Park, playground or spray park bookings		
	\$30.00	\$40.00

Projection screen	\$5.00	\$25.00	\$1.04
Food and Beverage			
Cambro (hot drinks)	\$5.00	\$50.00	\$2.08
Coffee urn	\$10.00	\$50.00	\$2.08
Cutlery (per dozen)	\$10.00	\$20.00	\$0.83
Dishes (per dozen)	\$10.00	\$50.00	\$2.08
Furniture			
Folding table	\$5.00	\$20.00	\$0.83
Plastic chair	\$2.00	\$5.00	\$0.21
Table skirt	\$1.00	\$25.00	\$1.04
Tablecloth	\$1.00	\$15.00	\$0.63
Outdoor Equipment			
Barricade (2 legs & 1 crossbar)	\$2.00	\$20.00	N/A
Delineator	\$1.00	\$10.00	N/A
Disc golf disc	\$1.00	\$10.00	N/A
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Signage			
Standing display sign		\$1.00	\$10.00
Sandwich board sign		\$1.00	\$10.00
Electronic reader board (Wallace St. & 10 <sup>th</sup> Ave.)		\$5.00	\$40.00/week
Park, playground or spray park bookings			
		\$30.00	\$40.00



Date: July 29, 2025  
File No: 0640-30-August 11, 2025  
To: Mayor & Council  
From: M. Fox, CAO  
Subject: Parks Caretaker Residences Infrastructure Upgrades

Prepared by:  <u>R. KRANEVELDT</u> Manager of Facilities	Reviewed by:  <u>S. DARLING</u> Director of Corporate Services	CAO Concurrence:   M. Fox, CAO
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#### RECOMMENDATIONS

- That Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to allocate \$8,700 in the 2026 capital budget for the replacement of the hot water tank (\$2,200) and oil tank (\$6,500) at the Paper Mill Dam Park caretaker residence.
- That Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to allocate \$6,500 in the 2026 capital budget for the replacement of the oil tank at the Blair Park caretaker residence.
- That Council amend the "City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025" to allocate \$2,200 in the 2027, 2028 and 2029 capital budget for the replacement of hot water tanks at the caretaker residences in Klitsa Park, Williamson Park, and Russell Field.

#### PURPOSE

To seek direction from Council regarding infrastructure replacements at caretaker residences.

#### BACKGROUND

At the December 9, 2024 Committee of the Whole, Council received a report regarding the caretaker residences. This report detailed the condition of the caretaker residences and sought Council direction on the level of service. The appendices to that report outlined a detailed breakdown of the repair requirements for each caretaker residence, inclusive of cost estimates, age and notes regarding life span of the asset.

At the Regular Meeting on January 13, 2025, Council directed Administration that no further investments be made to the caretaker residences at Roger Creek Park, Russell Park, Williamson Park, Blair Park, Klitsa Park and Paper Mill Dam Park; while ensuring that the washrooms continue to be maintained, routine maintenance on the buildings is carried out, and that any requests for improvements are brought to Council for approval.

The hot water tank at the Paper Mill Dam caretaker residence is overdue for replacement, and both oil tanks at Paper Mill Dam and Blair Park have passed their expiration dates. These items require replacement to ensure the continued safety and functionality of the caretaker units and to avoid any potential risks associated with expired equipment. Given the proximity of these parks to sensitive water bodies, environmental concerns regarding oil tank leaks must also be addressed. Furthermore, an amendment to regulatory code requires that

all oil tanks be installed on a concrete pad. All estimates include the framing and pouring of a concrete pad in addition to the purchase of a new unit and installation. Currently, no concrete pads exist at either location.

Additionally, Council is advised that the hot water tanks at Klitsa Park, Williamson Park, and Russell Field will be due for replacement within the next three years.

#### **ALTERNATIVES/OPTION**

1. That Council amend the “City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025” to allocate \$8,700 in the 2026 capital budget for the replacement of the hot water tank (\$2,200) and oil tank (\$6,500) at the Paper Mill Dam Park caretaker residence.

That Council amend the “City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025” to allocate \$6,500 in the 2026 capital budget for the replacement of the oil tank at the Blair Park caretaker residence.

That Council amend the “City of Port Alberni 2025-2029 Financial Plan Bylaw No. 5123, 2025” to allocate \$2,200 in the 2027, 2028 and 2029 capital budget for the replacement of hot water tanks at the caretaker residences in Klitsa Park, Williamson Park, and Russell Field.

#### **ANALYSIS**

##### **Paper Mill Dam - Hot Water Tank Replacement**

The lifespan of the hot water tank at Paper Mill Dam concluded in 2014. Replacing this unit will avoid any unexpected breakdowns or leaks, which could lead to costly water damage or impact insurance coverage of the residence. Replacement of the hot water tank is expected to cost \$2,200 + GST, and the replacement unit is projected to have a lifespan of 10 years.

##### **Paper Mill Dam - Oil Tank Replacement**

The oil tank at Paper Mill Dam was installed in 2005 and expired in 2020. Replacement of the tank will help ensure any operational or environmental issues are prevented. Replacement of the oil tank is expected to cost \$6,500 + GST, which includes supply of the oil tank in addition to the pouring of a concrete pad for installation. The replacement unit is projected to have a lifespan of roughly 15 years.

##### **Blair Park - Oil Tank Replacement**

The oil tank at Blair was installed in 2012 and expires in 2025. Similarly, to Paper Mill Dam, replacing the oil tank at Blair Park will mitigate potential operational and environmental issues. Replacement of the oil tank is expected to cost \$6,500 + GST, which includes supply of the oil tank in addition to the pouring of a concrete pad for installation. The replacement unit is projected to have a lifespan of roughly 15 years.

#### **IMPLICATIONS**

There is currently no allocation for these upgrades in the 2025-2029 Financial Plan so an amendment would need to be made in order to facilitate these improvements.

The City’s insurance policy may not cover damage resulting from expired hot water or oil tanks, which could lead to increased costs for the City in the event of a failure.

Both Paper Mill Dam and Blair Park are in close proximity to sensitive water bodies. The potential for environmental contamination from oil tank leaks is a significant concern. Replacing these oil tanks is critical to avoid future incidents that could affect the surrounding ecosystem.

## SUMMARY

In British Columbia, though there is not a specific law mandating the replacement of hot water tanks or oil tanks, best practice, insurance requirements, and environmental considerations suggest timeframes:

- Hot water tanks typically last 10–15 years, with replacement recommended at 12 years
- Oil tanks should generally be replaced every 15–20 years

Staff recommend Council direct staff to replace the hot water tank and oil tank at the Paper Mill Dam caretaker residence, and replace the oil tank at the Blair Park caretaker residence.

## ATTACHMENTS/REFERENCE MATERIALS

- [Caretaker Residence Issues and Costing](#)
- [January 13, 2025 Regular Meeting of Council | Staff Report | Canadian Mental Health Association – Parks Caretaker Residences](#)
- [December 9, 2024 Committee of the Whole Meeting | Staff Report | Canadian Mental Health Association – Parks Caretaker Residences](#)